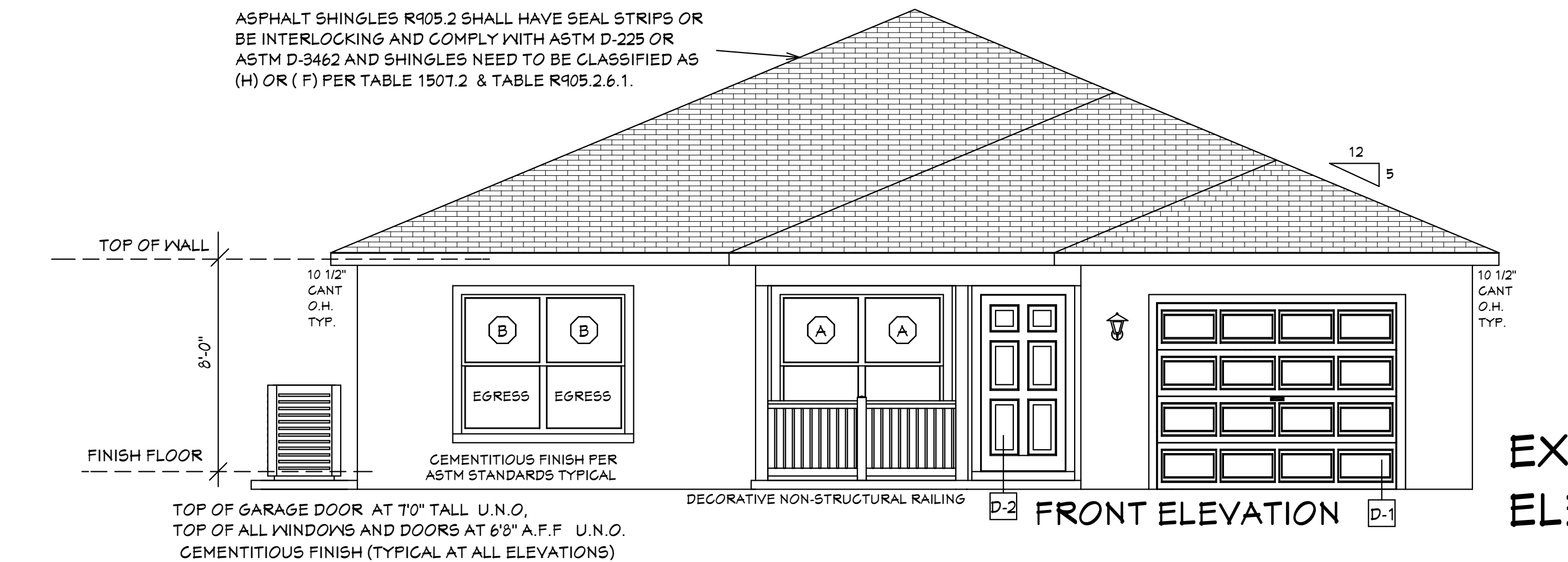
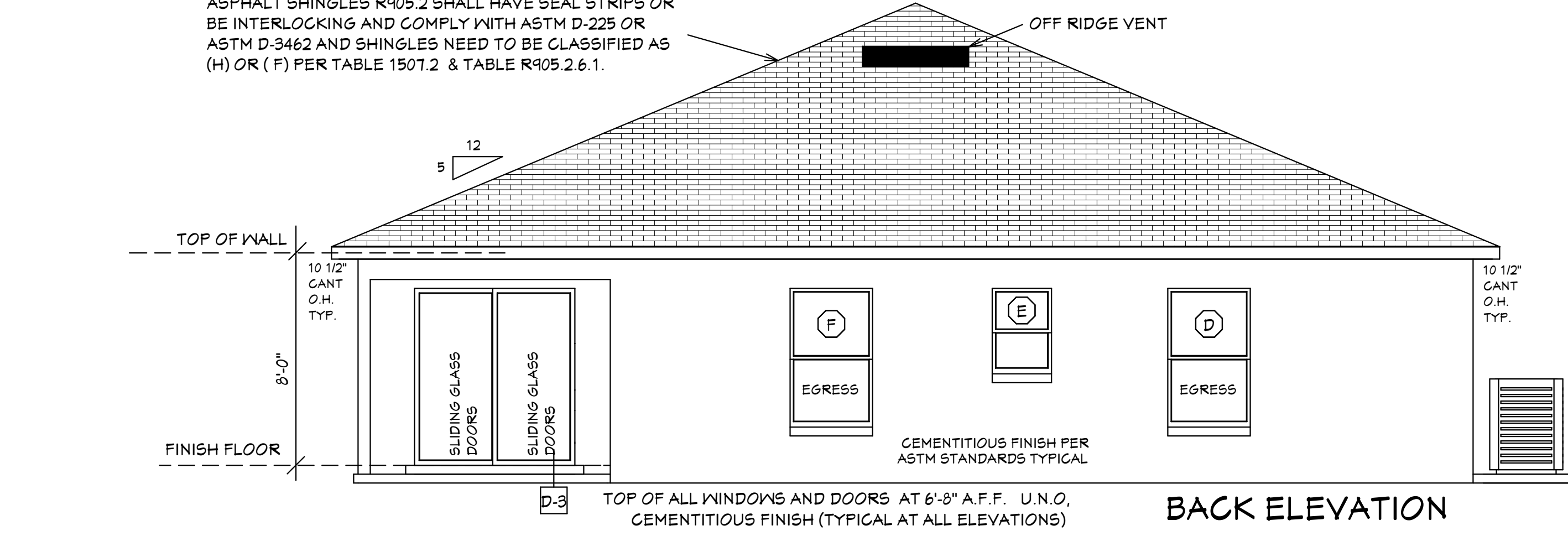
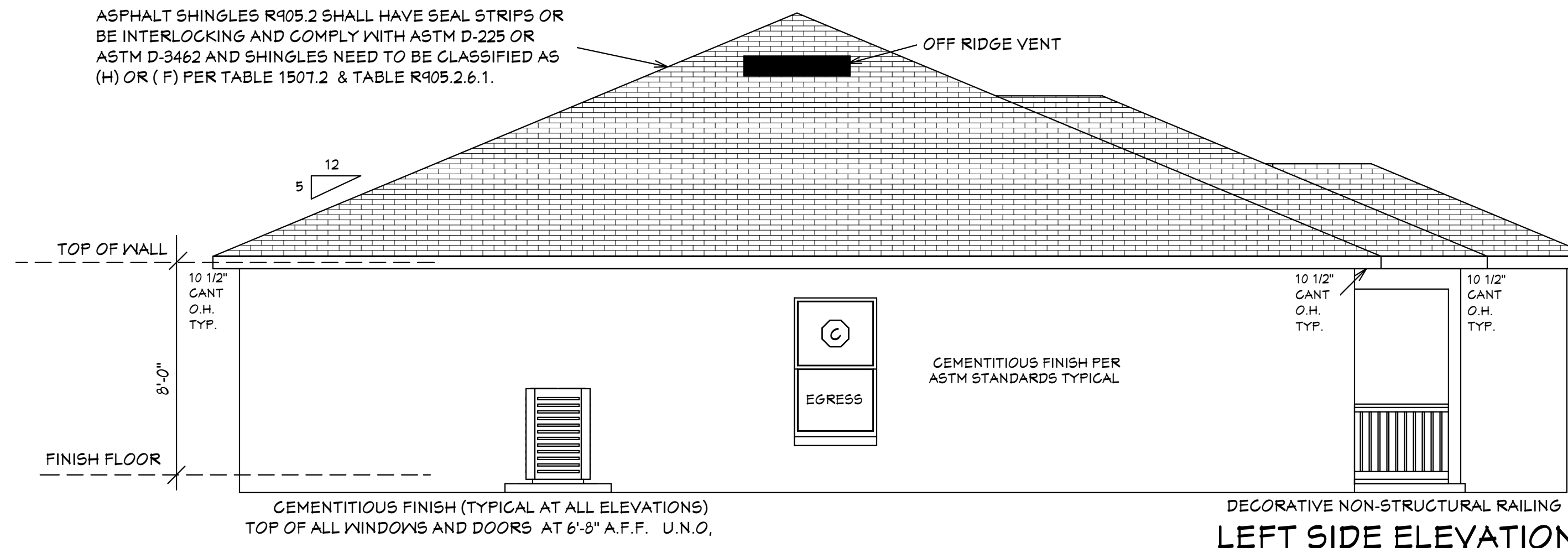
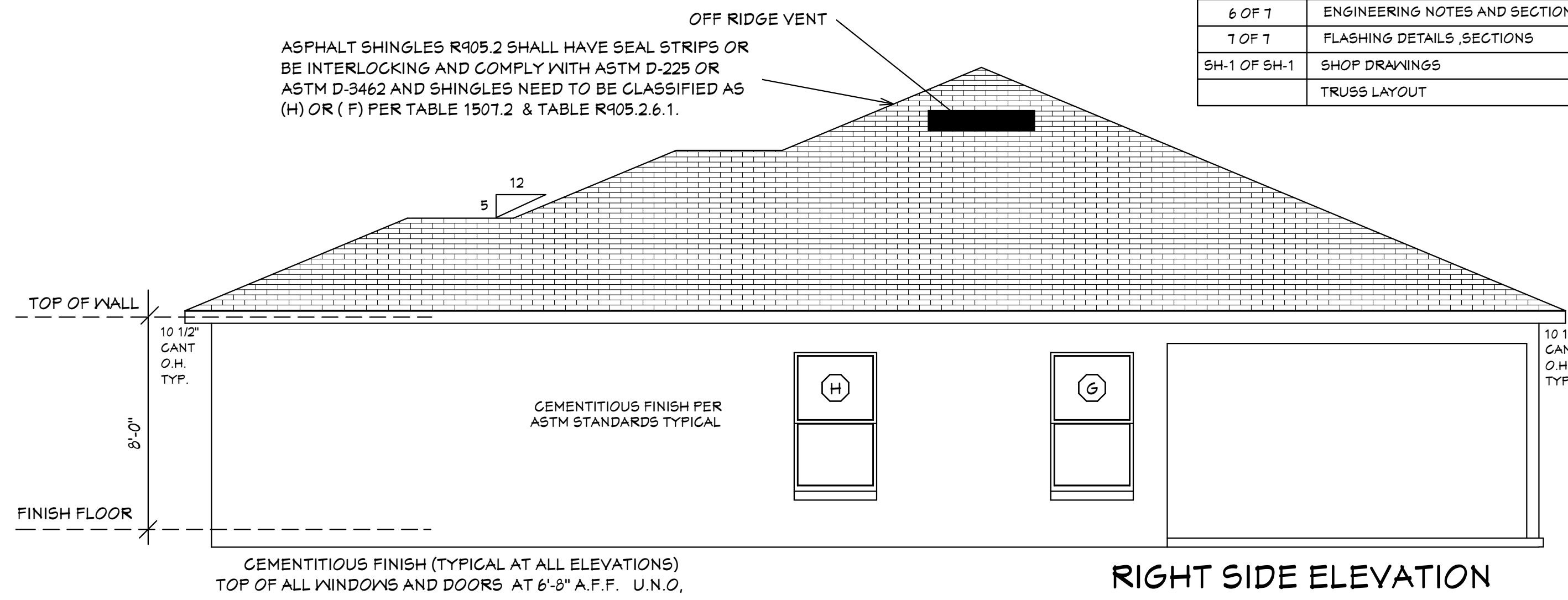


SHEET #	PLAN SCHEDULE
1 OF 7	EXTERIOR ELEVATIONS, ROOF PLANE PLAN, SECTIONS
2 OF 7	FOUNDATION PLAN, WALL SECTION, AND SECTIONS
3 OF 7	DIMENSIONAL FLOOR PLAN, SOFFIT DETAIL AND SECTIONS
4 OF 7	NOTED FLOOR PLAN, SCHEDULES, AND SECTIONS
5 OF 7	ELECTRICAL PLAN, ELECTRICAL SCHEDULE AND SECTIONS
6 OF 7	ENGINEERING NOTES AND SECTIONS
7 OF 7	FLASHING DETAILS, SECTIONS
SH-1 OF SH-1	SHOP DRAWINGS
	TRUSS LAYOUT



**EXTERIOR ELEVATIONS**

**DESIGN PARAMETERS:**

**APPLICABLE CODES:**  
 BUILDING CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023  
 MECHANICAL CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, MECHANICAL 2023  
 PLUMBING CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, PLUMBING 2023  
 ELECTRICAL CODE = NEC 2020  
 FLORIDA FIRE PREVENTION CODE = 8TH EDITION  
 LIFE SAFETY CODE = NFPA 101 8TH EDITION  
 ACCESSIBILITY CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023  
 ENERGY CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023

**METHOD OF DESIGN:**  
 DESIGNED PURSUANT TO (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023, CHAPTER 3 AND SECTION 1604 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE

**BASIC WIND SPEED:**  
 110 MPH (ULTIMATE DESIGN) = 132.0 MPH (NOMINAL DESIGN)  
 120 MPH (ULTIMATE DESIGN) = 124 MPH (NOMINAL DESIGN)  
 150 MPH (ULTIMATE DESIGN) = 116 MPH (NOMINAL DESIGN)

**IMPORTANCE FACTOR/COMPONENTS AND CLADDING:**  
 0.75 (RISK CATEGORY I)       1.15 (RISK CATEGORY II)  
 1.00 (RISK CATEGORY II)       1.15 (RISK CATEGORY IV)

**BUILDING OCCUPANCY CLASSIFICATION:**  
 GROUP A - ASSEMBLY       GROUP H - HAZARDOUS  
 GROUP B - BUSINESS       GROUP I - INSTITUTIONAL  
 GROUP D - DAY CARE CENTER       GROUP M - MERCANTILE  
 GROUP E - EDUCATIONAL       GROUP R - RESIDENTIAL  
 GROUP F - FACTORY INDUSTRIAL       GROUP S - STORAGE

**TORNADO BASIC WIND SPEED:**  
 RISK CATEGORY II = N/A  
 110 MPH (NORMAL DESIGN F3-SECOND GUST)  
 160 MPH (NORMAL DESIGN F3-SECOND GUST)  
 150 MPH (NORMAL DESIGN F3-SECOND GUST)

**RAIN FALL INFORMATION:**  
 N/A SLOPED ROOF GREATER THAN 2/12  
 RAINFALL DATA FROM FBC PLUMBING 2023 FIGURE 1106.1 IN/HR.  
 ROOF AREA IN SF.

**BUILDING CONSTRUCTION TYPE:**  
 TYPE I       TYPE IV  
 TYPE II       TYPE V  
 TYPE III

**EXPOSURE CATEGORY:**  
 A       C  
 B       D

**WINDBORNE DEBRIS REGION:**  
 NO  
 YES  
 IMPACT RESISTANT GLAZING  
 IMPACT RESISTANT COVERING  
 COMBINATION OF IMPACT RESISTANT GLAZING & COVERING

**INTERNAL PRESSURE COEFFICIENTS:**  
 0.00 (OPEN)  
 +0.18, -0.18 (ENCLOSED)  
 +0.55, -0.55 (PARTIALLY ENCLOSED)

**CLASSIFICATION OF WORK:**  
 ALTERATION  
 LEVEL 1  
 LEVEL 2  
 LEVEL 3  
 NEW CONSTRUCTION  
 CHANGE OF OCCUPANCY  
 ADDITION / REMODEL  
 HISTORIC BUILDING

**DESIGN LOAD BEARING VALUE OF SOIL 2000 PSF**

**GENERAL NOTES**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS AS SHOWN ON THESE PLANS WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS AND/OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECEIPT OF PLANS AND PRIOR TO ANY CONSTRUCTION OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME.

4. HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, CHAPTER 3, AND SECTION 1604 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE STATE, COUNTY, AND LOCAL STATUTES, ORDINANCES, REGULATIONS, AND RULES.

**NOTE: MASTER PLANS FEMA FLOOD ZONES CONSTRUCTION**  
 NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND A/C UNIT AND ALL EQUIPMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANTIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION LDC CHAPTER 6 ARTICLE IV FLOOD HAZARD REDUCTION.

THIS RESIDENCE MAY NOT BE BUILT WITHIN 60' OF ANOTHER STRUCTURE OR 50' FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

**Quattrone & Associates, Inc.**  
 Engineers, Planners, & Development Consultants  
 4301 Venetian Shoreline Blvd. Fort Myers, FL 33916 (239) 595-5222 QATinc.com  
 Certificate of Accreditation Number: 9663  
 AL-QAAT-TRD-016 P.E. 12/21/14

**REVISIONS:**  
 02-02-2022  
 03-08-2024

**HICKS DRAFTING & DESIGN**  
 4216 5TH STREET NW  
 LEHIGH ACRES, FL. 33471  
 CELL: (239) 462-2734  
 E-MAIL: DHICKS928@AOL.COM

**BUILDER: HABITAT FOR HUMANITY**  
 4 BEDROOM 2 BATH HOME / 160 MPH WIND LOADING  
 NEW HOUSE FOR:  
 LOT - / BLOCK - / UNIT - / SECTION -  
 TOWNSHIP - SOUTH/RANGE - EAST  
 STRAP#:  
 ADDRESS:

**DRAWN BY**  
 DAVID HICKS

**DATE:** 03-29-2021

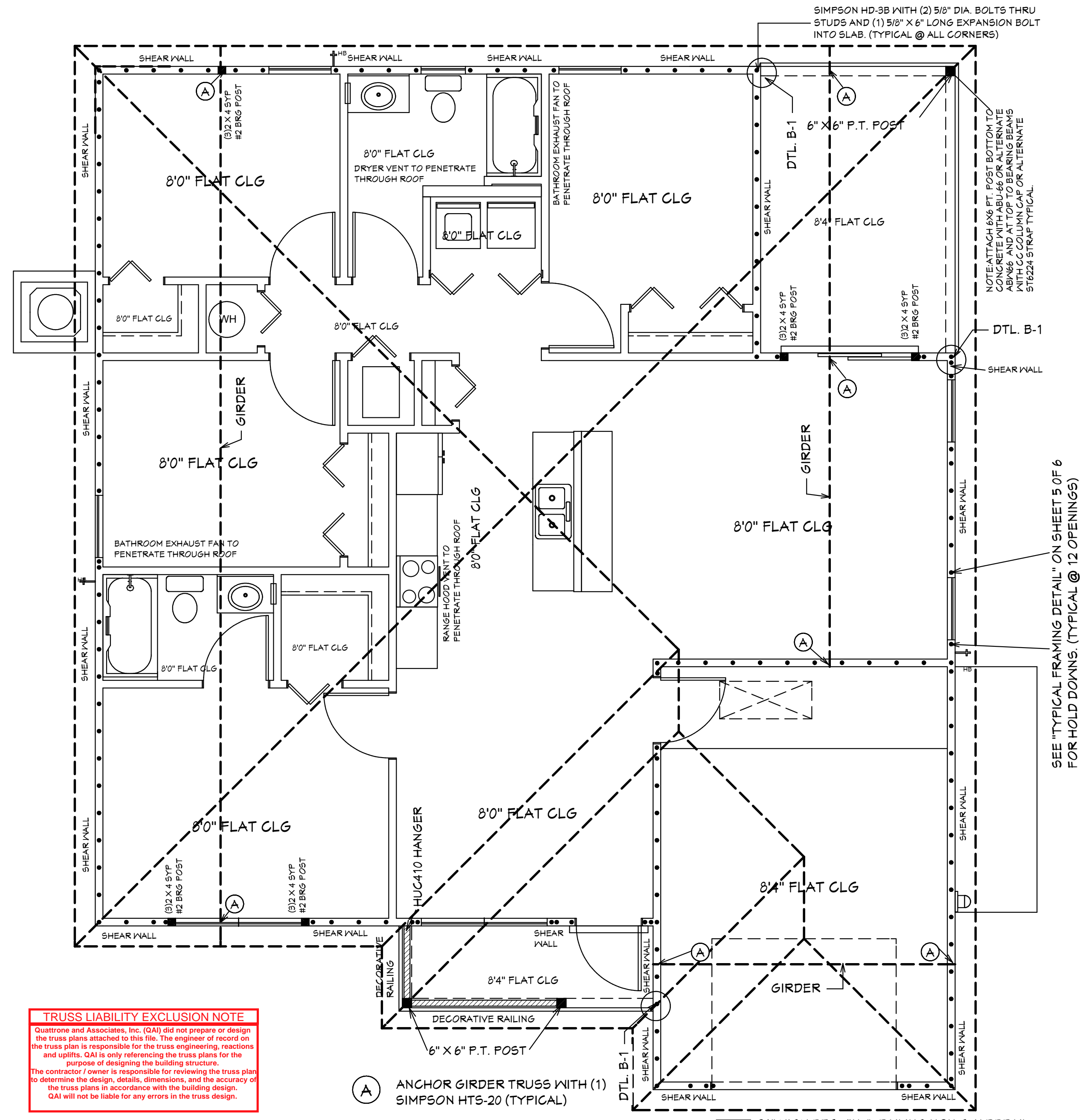
**SCALE:** 1/4" = 1'0"

**JOB #** 2024-047

**SHEET**  
 1 OF 7

**03-08-2024 REVISIONS**

**MASTER PLAN**  
 I AL QUATTRONE APPROVE OF REPETITIVE USE OF PLANS FOR PERMITTING  
 CAPE PALM 2 4/21 MODEL / RIGHT HAND GARAGE / MONO FOOTER / 2023 CODE / 10 1/2" CANT



**TRUSS LIABILITY EXCLUSION NOTE**  
 Quattrone and Associates, Inc. (QAI) did not prepare or design the truss plans attached to this file. The engineer of record on the truss plan is responsible for the truss engineering, reactions and uplifts. QAI is only referencing the truss plans for the purpose of designing the building structure. The contractor / owner is responsible for reviewing the truss plan to determine the design, details, dimensions, and the accuracy of the truss plans in accordance with the building design. QAI will not be liable for any errors in the truss design.

**03-08-2024 REVISIONS**



TABLE R803.2.3.1  
ROOF SHEATHING ATTACHMENTa, b

Rafter/Truss Spacing 24 in. o.c.	WIND SPEED															
	115 mph		120 mph		130 mph		140 mph		150 mph		160 mph		170 mph		180 mph	
	E	F	E	F	E	F	E	F	E	F	E	F	E	F	E	F
Exposure B																
Rafter/Truss SG = 0.42	6	6	6	6	6	6	6	6	6	4	4	4	4	4	4	4
Rafter/Truss SG = 0.49	6	12	6	12	6	6	6	6	6	6	6	6	6	6	6	6
Exposure C																
Rafter/Truss SG = 0.42	6	6	6	6	6	6	4	4	4	4	4	4	3	3	3	3
Rafter/Truss SG = 0.49	6	6	6	6	6	6	6	6	6	6	6	6	4	4	4	4
Exposure D																
Rafter/Truss SG = 0.42	6	6	6	6	4	4	4	4	4	4	3	3	3	3	3	3
Rafter/Truss SG = 0.49	6	6	6	6	6	6	6	6	4	4	4	4	4	4	4	4

E = Nail spacing along panel edges (inches)

F = Nail spacing along intermediate supports in the panel field (inches)

a. For sheathing located a minimum of 4 feet from the perimeter edge of the roof, including 4 feet on each side of ridges and hips, nail spacing is permitted to be 6 inches on center along panel edges and 6 inches on center along intermediate supports in the panel field.

b. Where rafter/truss spacing is less than 24 inches on center, roof sheathing fastening is permitted to be in accordance with the AWC WFCM or the AWC NDS.

R803.2.2 Allowable spans.

The minimum thickness and span rating for wood structural panel roof sheathing shall not exceed the values set forth in Table R803.2.2.

TABLE R803.2.2

MINIMUM ROOF SHEATHING THICKNESS

Rafter/Truss Spacing 24 in. o.c.	WIND SPEED							
	115 mph	120 mph	130 mph	140 mph	150 mph	160 mph	170 mph	180 mph
Minimum Sheathing Thickness, inches (Panel Span Rating) Exposure B	7/16(24/16)	7/16(24/16)	7/16(24/16)	7/16(24/16)	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)
Minimum Sheathing Thickness, inches (Panel Span Rating) Exposure C	7/16(24/16)	7/16(24/16)	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	23/32(48/24)
Minimum Sheathing Thickness, inches (Panel Span Rating) Exposure D	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	23/32(48/24)	23/32(48/24)

GENERAL NOTES

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2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS AND/OR OMISSIONS PRIOR TO CONSTRUCTION. IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECEIPT OF PLANS AND PRIOR TO ANY CONSTRUCTION. CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME.

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**Quatrone & Associates, Inc.**  
Engineers, Planners, & Development Consultants  
4301 Venetian Shoreline Blvd., Fort Myers, FL 33916 (239) 936-5222  
AL: 0000170001 P.E. 1522141

**REVISIONS:**  
02-02-2022  
03-08-2024

**HICKS DRAFTING & DESIGN**  
4216 5TH STREET W  
LEHIGH ACRES, FL 33471  
CELL: (239) 462-2734  
E-MAIL: DHICKS928@AOL.COM

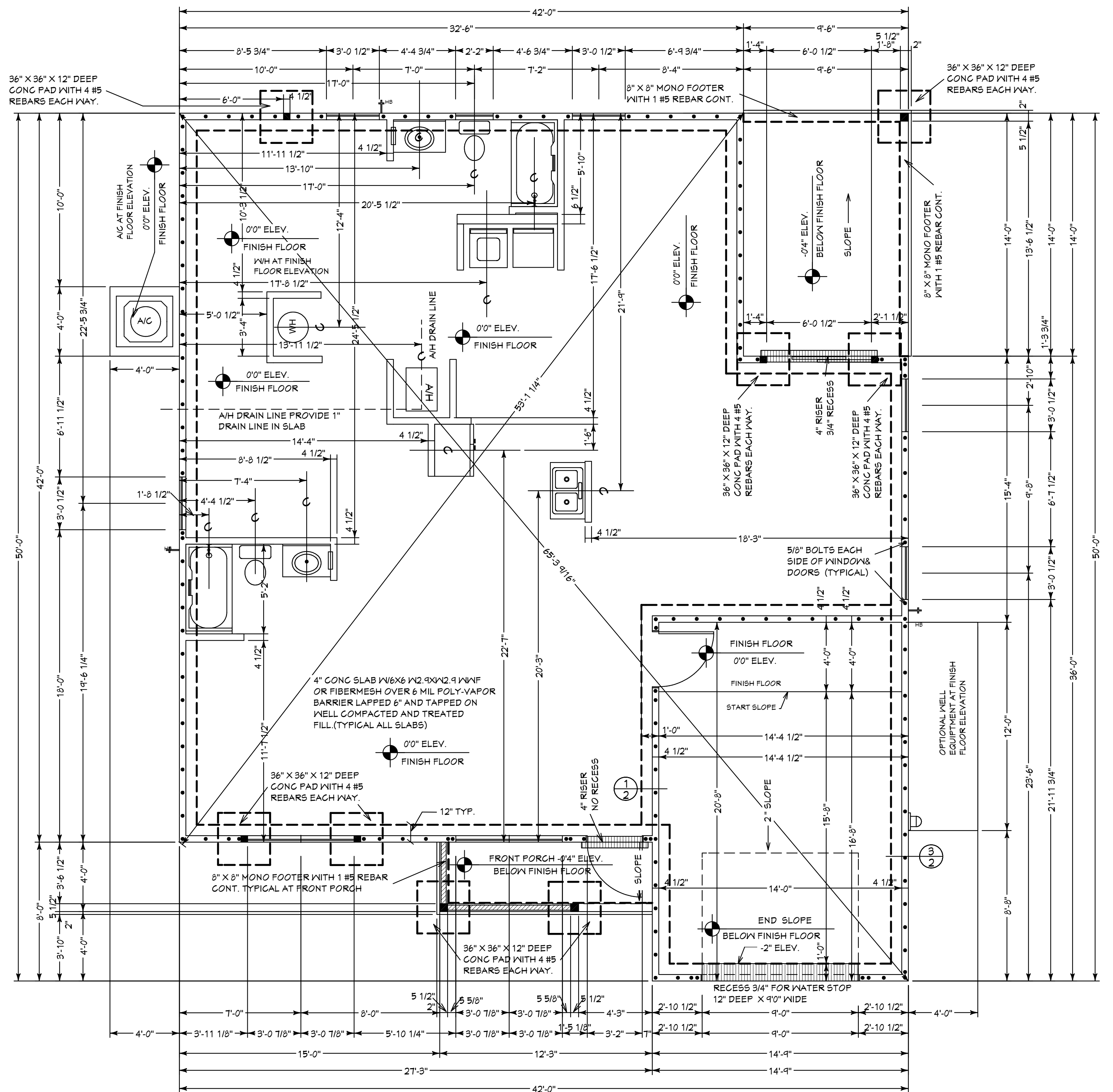
**BUILDER: HABITAT FOR HUMANITY**  
4 BEDROOM 2 BATH HOME / 160 MPH WIND LOADING  
NEW HOUSE FOR:  
LOT: / BLOCK: / UNIT: / SECTION: EAST  
TOWNSHIP: SOUTH/RANGE: EAST  
STREET ADDRESS:  
ADDRESS:

**DRAWN BY**  
DAVID HICKS  
**DATE:** 03-29-2021  
**SCALE:** 1/4" = 1'0"  
**JOB #** 2024-047

**SHEET**  
2 OF 7

03-08-2024 REVISIONS

CAPE PALM 2 4/21 MODEL / RIGHT HAND GARAGE / MONO FOOTER / 2023 CODE / 10 1/2" CANT



ALLOW FOR ELECTRICAL IN SLAB AS REQ BY OWNER OR BUILDER ELECTRICAL CONTRACTOR TO VERIFY NEEDS WITH CONTRACTOR PRIOR TO START OF CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ROUGH OPENING AND SIZES OF ALL DOORS AND WINDOWS BEFORE STARTING CONSTRUCTION

PROVIDE 1" PVC DRAIN LINE FOR AIR HANDLER

NOTE: ALL EXTERIOR WALLS ARE 3 1/2" WIDE WOOD WALL WITH 15/32" PLYWOOD AND 1/2" DRYWALL (4 1/2" TOTAL) UNLESS NOTED DIFFERENT.

NOTE: ALL INTERIOR WALLS ARE 3 1/2" AND 5 1/2" WIDE WOOD WALLS WITH 1/2" DRYWALL EACH SIDE (4 1/2" & 6 1/2" TOTAL) UNLESS NOTED DIFFERENT.

NOTE: IN ACCORDANCE WITH CHAPTER 1 ASCE-24 ATTENDANT UTILITIES A/C AND WH AND ALL OTHER EQUIPMENT SHALL BE LOCATED AT FINISH FLOOR ELEVATION OR ABOVE THE MINIMUM FLOOD ELEVATION BE +1 FOOT OF FREEBOARD WITH THE EXCEPTION OF RISERS OR UNDERGROUND LINES. IT IS ACCEPTABLE FOR THE LOCATION OF A/C AND WELL EQUIPMENT AND OTHER UTILITY PAD LOCATIONS TO BE MOVED AS REQUIRED TO A DIFFERENT LOCATION OR DELETED IF NOT REQUIRED. REFER TO SITE PLAN FOR ACTUAL LOCATIONS OF UTILITY PADS.

UNDERLAYMENT MUST MEETS REQUIREMENTS OF R905.1.1.1

Option #1 a self-adhering polymer-modified bitumen underlayment complying with ASTM D1970 applied over the entire roof.

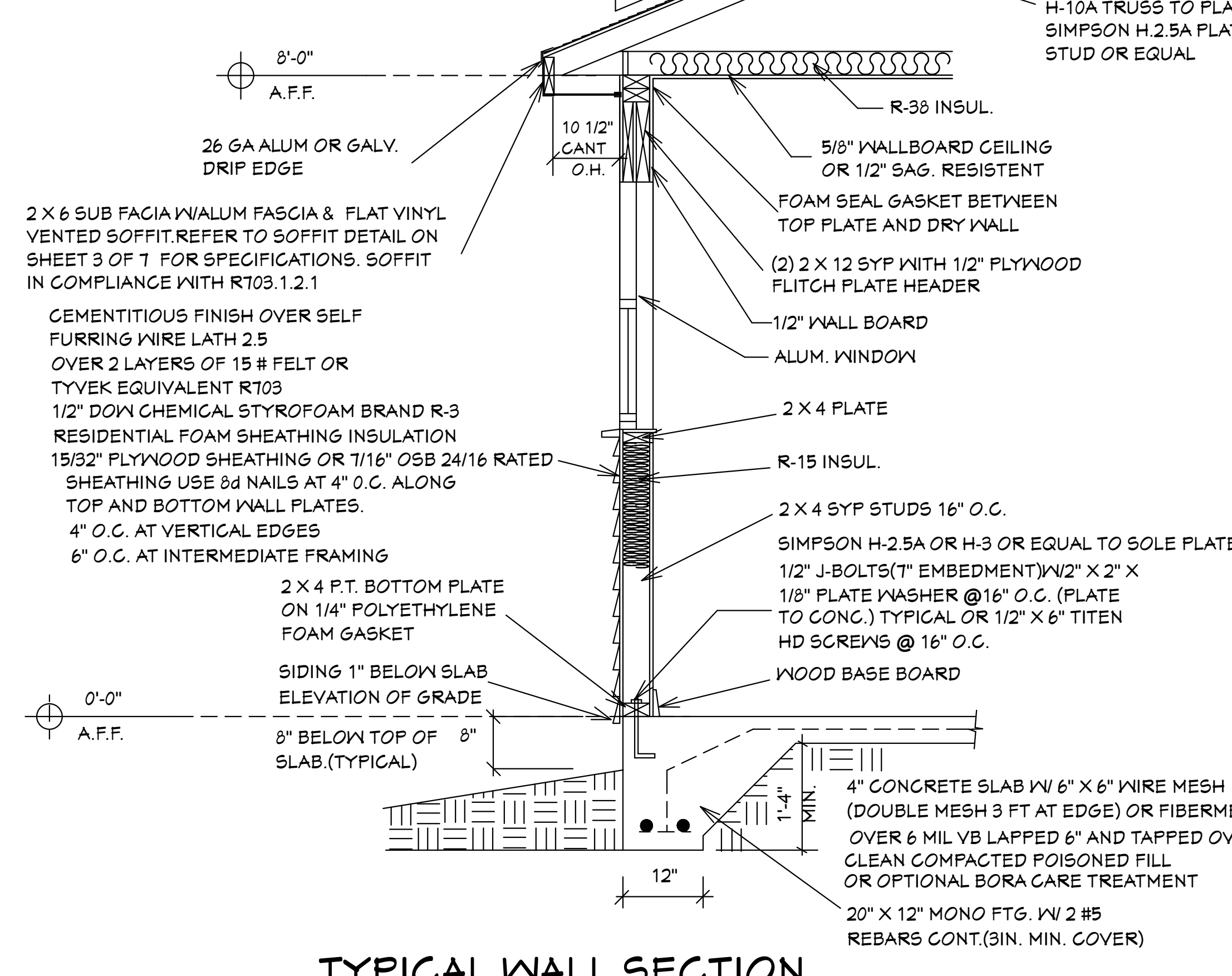
Option #2 a minimum 4-inch wide strip of selfadhering polymer-modified bitumen complying with ASTM D1970 or a minimum 3 3/4 - inch wide strip of selfadhering flexible flashing tape complying with AAMA T11, applied over all joints in the roof decking. A felt underlayment complying with ASTM D226 Type II, ASTM D4869 Type III or IV, or ASTM D6751, or a synthetic underlayment meeting the performance requirements specified, is required to be applied over the strips/tape over the entire roof. (See Table 1507.1.1.1 of the FBCB or Table R905.1.1.1 of the FBCR for fastener type and spacing).

Option #3 three layers of felt underlayment comply ASTM D226 Type II or ASTM D4869 Type III or IV, or three layers of a synthetic underlayment meeting the performance requirements specified

where felt underlayment is used, it must be 30# or equivalent (ASTM D 226 Type II, ASTM D4869 Types III or IV)

R905.2 ASPHALT SHINGLES SHALL HAVE SELF SEAL STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D-225 OR ASTM D-3462 AND SHINGLES NEED TO BE CLASSIFIED AS (H) OR (F) TABLE 1507.2 & TABLE R905.2.6.1

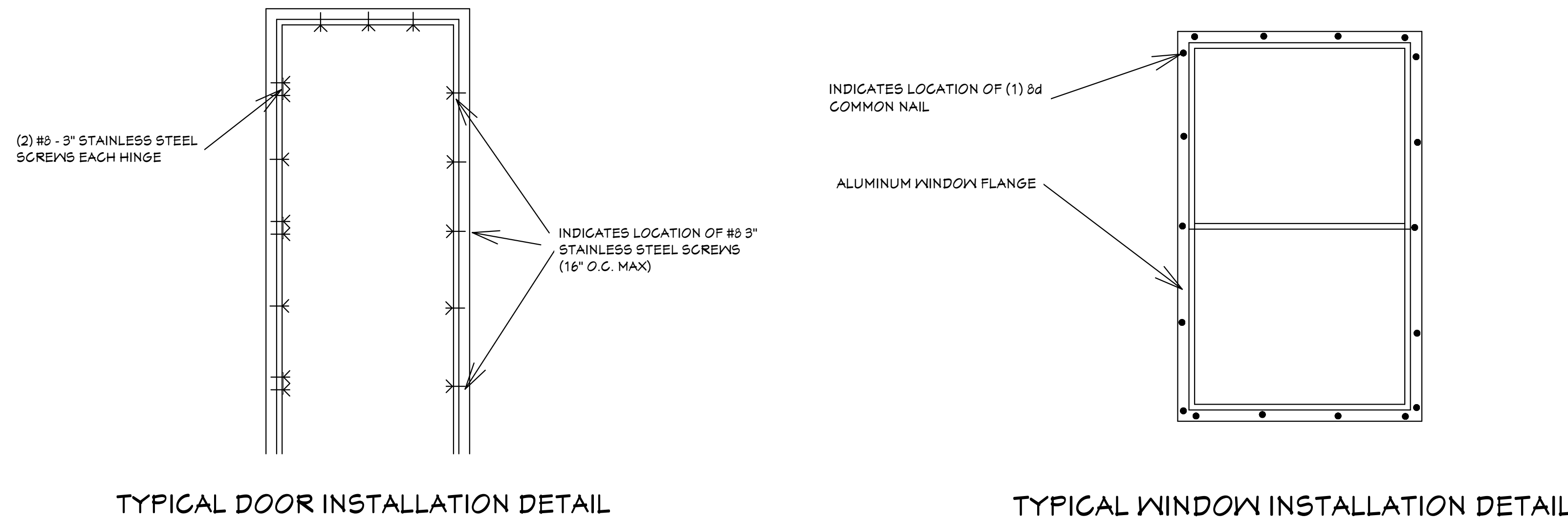
OVER 30# FELT ( UNDERLAYMENT MEETS REQUIREMENTS OF R905.1.1.1) OVER 19/32" PLYWOOD SHEATHING OR 19/32" OSB 40/20 RATED SHEATHING WITH 10d RING SHANK NAILS R803.2.3.1 AT 4" O.C. AT EDGES AND 4" O.C. AT INTERMEDIATE SUPPORT



TYPICAL WALL SECTION  
3/4" = 1'-0"

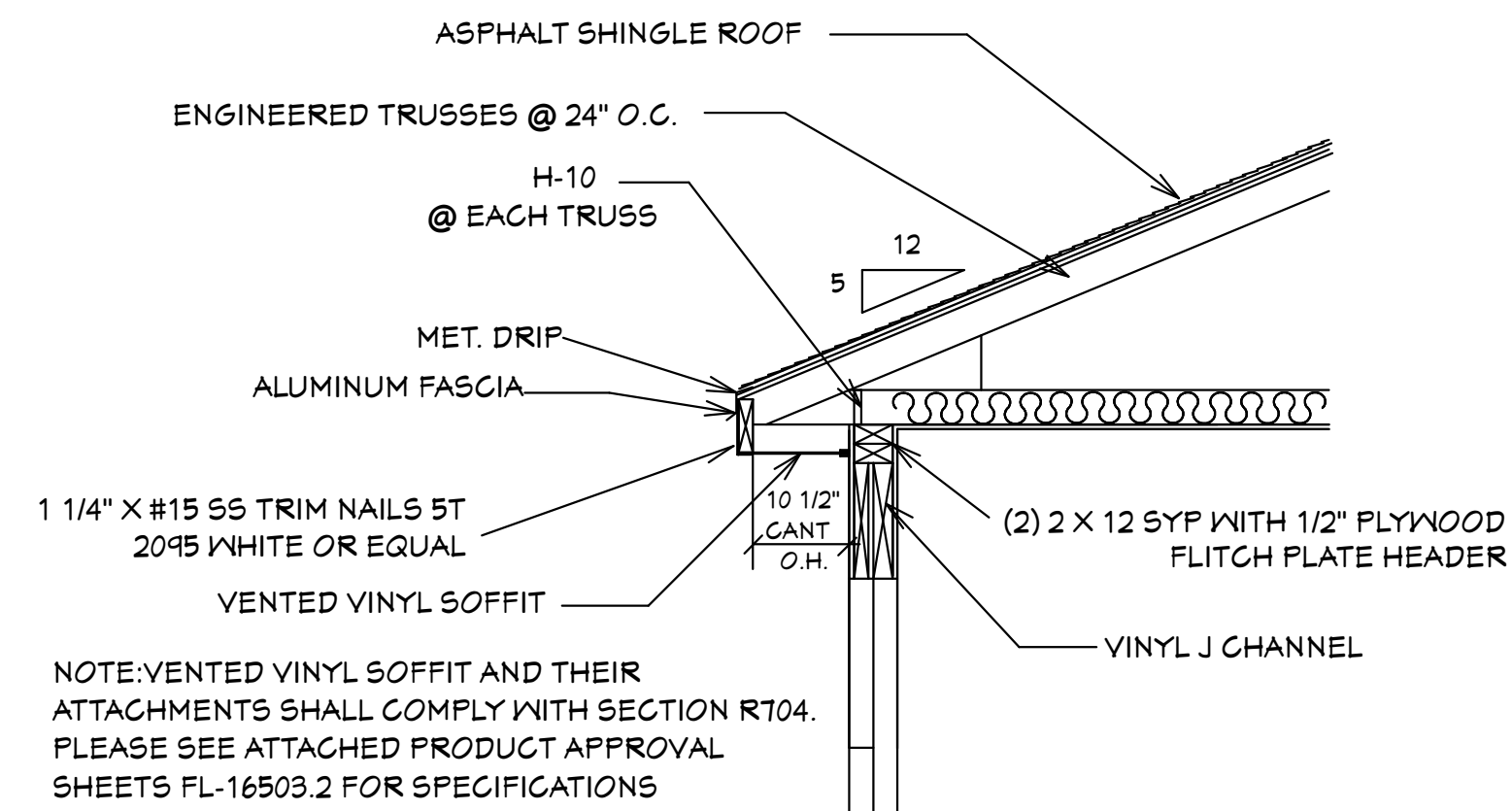
FOUNDATION PLAN



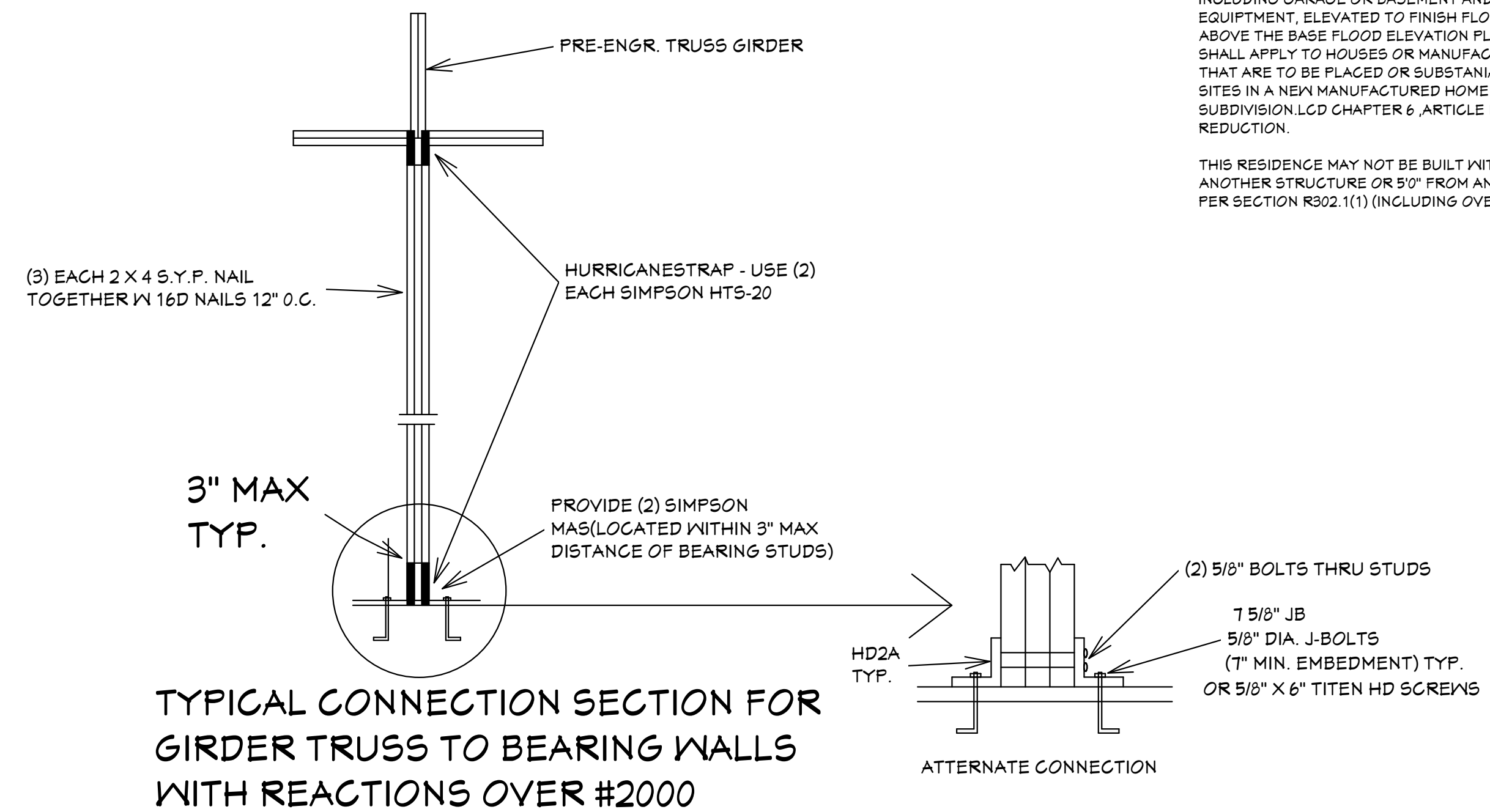


TYPICAL DOOR INSTALLATION DETAIL

TYPICAL WINDOW INSTALLATION DETAIL

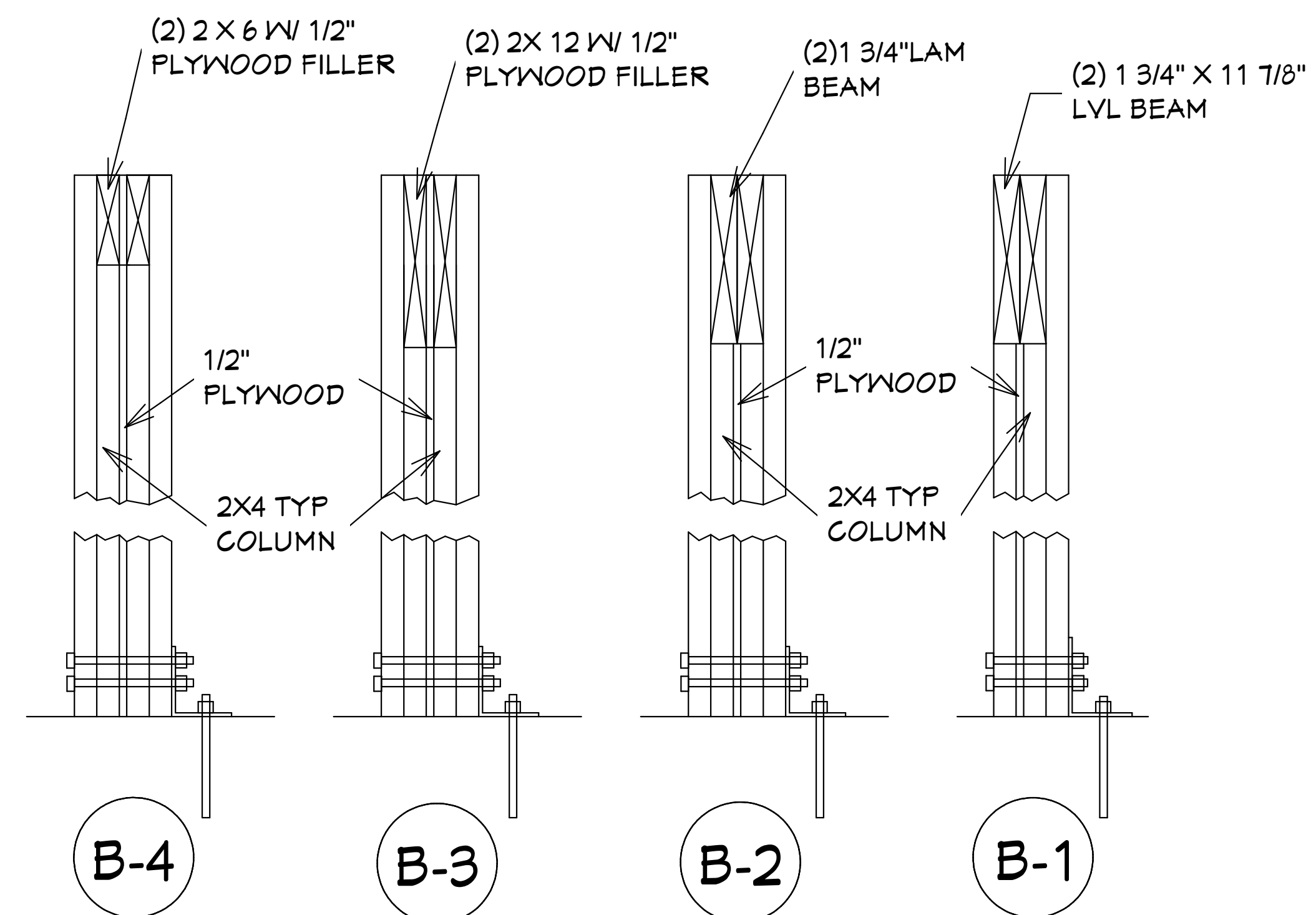


SOFFIT DETAIL R703.1.2.1  
SCALE: N.T.S.



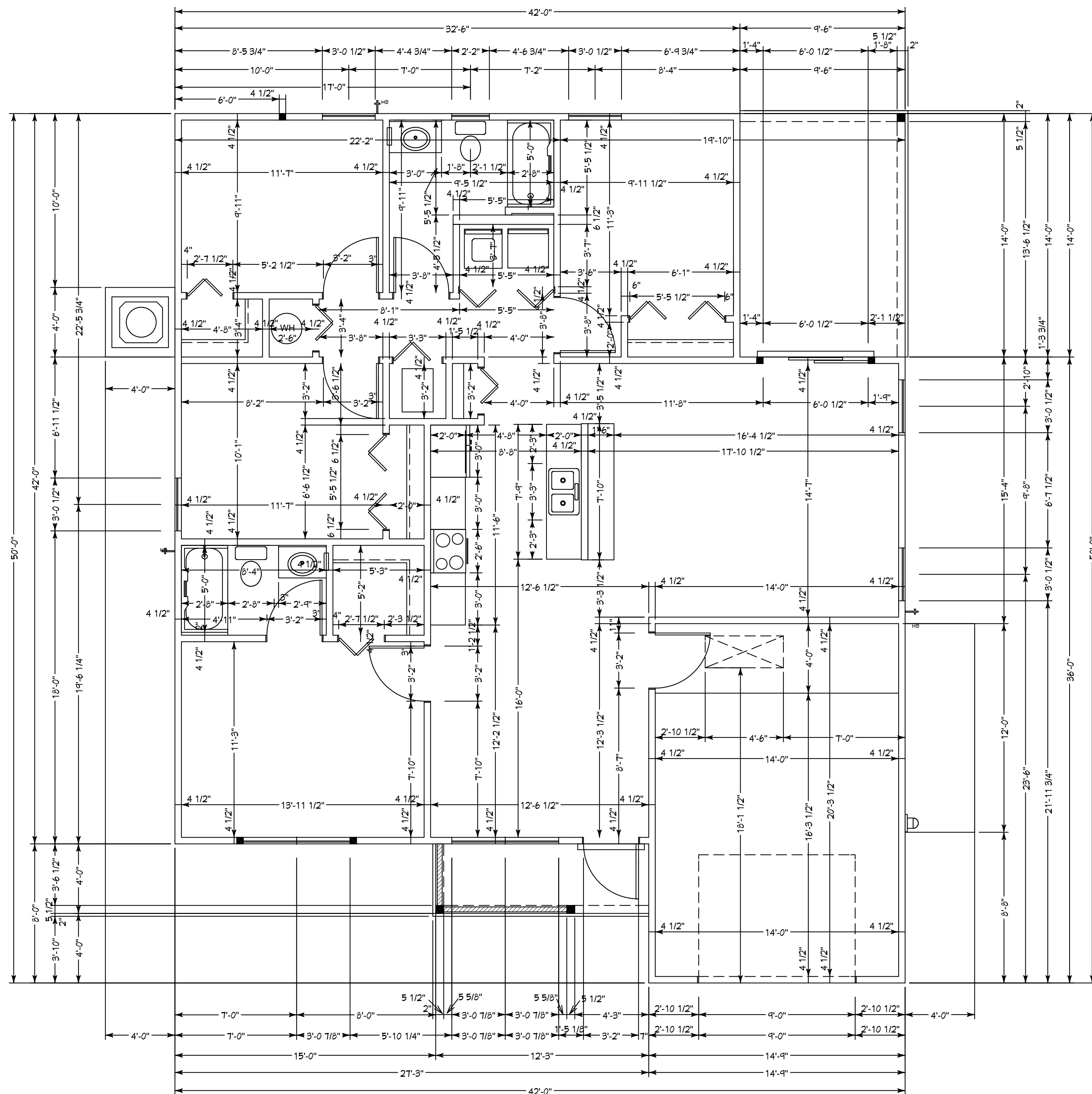
TYPICAL CONNECTION SECTION FOR GIRDER TRUSS TO BEARING WALLS WITH REACTIONS OVER #2000

SCALE: 1/2" = 1'0"



DETAIL

SCALE: 1 1/2" = 1'0"



DIMENSIONAL FLOOR PLAN

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS AS SHOWN ON THESE PLANS WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS AND/OR OMISSIONS PRIOR TO CONSTRUCTION. IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECEIPT OF PLANS AND PRIOR TO ANY CONSTRUCTION, OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME.
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THIS RESIDENCE MAY NOT BE BUILT WITHIN 8'0" OF ANOTHER STRUCTURE OR 50' FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

**Quattrone & Associates, Inc.**  
Engineers, Planners, & Development Consultants  
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AL. QUAL. TRONLINE, P.E. 122141

Professional seal of the drafter as the drafter and seal of the engineer as the engineer and seal of the architect as the architect shall be used on any electronic copies.

CONFORMANCE STATEMENT  
THESE PLANS HAVE BEEN DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AND THE DESIGN PARAMETERS FOR THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE CHAPTER 3 IN GENERAL AND SECTION 1604 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE.

03-08-2024

REVISIONS:

02-02-2022
03-08-2024

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4216 5TH STREET W  
LEHIGH ACRES, FL. 33471  
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E-MAIL: DHICKS928@AOL.COM

CAPE PALM 2 4/21 MODEL / RIGHT HAND GARAGE / MONO FOOTER / 2023 CODE / 10 1/2" CANT

BUILDER: HABITAT FOR HUMANITY  
4 BEDROOM 2 BATH HOME / 160 MPH WIND LOADING  
NEW HOUSE FOR:  
LOT: / BLOCK: / UNIT: / SECTION: EAST  
TOWNSHIP: SOUTH/RANGE: EAST  
STRAP#: ADDRESS:

DRAWN BY  
DAVID HICKS

DATE: 03-29-2021

SCALE: 1/4" = 1'0"

JOB # 2024-047

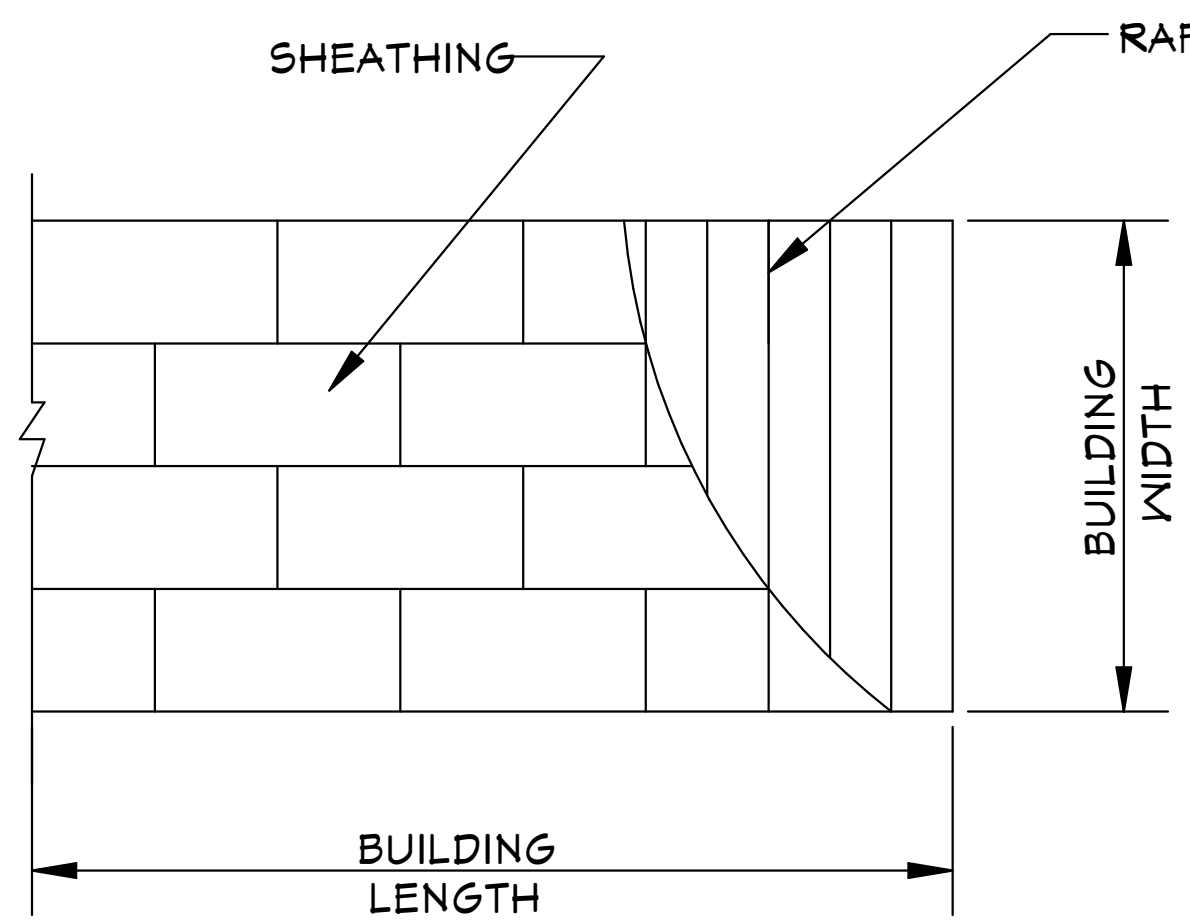
SHEET  
3 OF 7

03-08-2024 REVISIONS



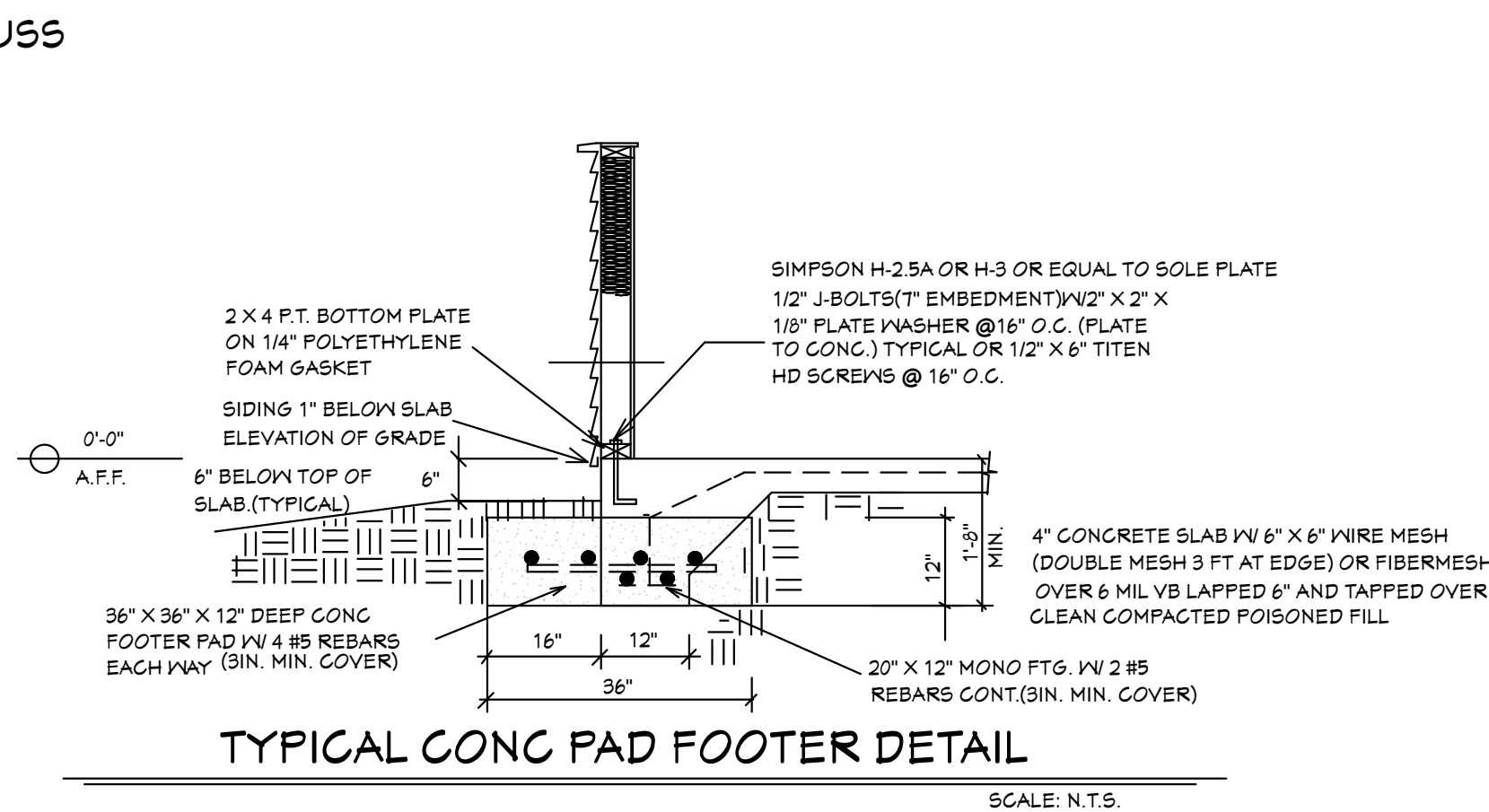






**ROOF SHEATHING LAYOUT FOR HIP ROOFS**  
N.T.S.

NOTE: ALL BRANCH CIRCUITS THAT SUPPLY 125-250 VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE INSTALLED IN ALL ROOMS (INCLUDING BEDROOMS) EXCEPT THE BATHROOMS, UTILITY ROOM IN A DWELLING UNIT AND SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S). KITCHEN, BATHROOMS, UTILITY ROOM, AND WET AREA'S SHALL BE PROTECTED BY G.F.C.I. OUTLETS.



**TYPICAL CONG PAD FOOTER DETAIL**  
SCALE: N.T.S.

ONE WINDOW IN EACH BEDROOM SHALL PROVIDE 5.7 SQ. FT. OF EGRESS AREA MINIMUM CLEAR OPENING 20" W. AND 24" H.

MINIMUM 24" CLEAR OPENING IS REQUIRED FOR ACCESS TO ONE TOILET ROOM PER FLORIDA HANDICAP ACCESSIBILITY REQUIREMENTS.

ALL SMOKE DETECTOR CARBON MONOXIDE ALARM COMBOS TO BE INTERCONNECTED 110 VOLTS A.C.

LIGHTS IN CLOSETS TO COMPLY WITH SECT. 410-8 NEC.

PROVIDE GFI PER NEC 210-8

WATER CONSERVATION FIXTURES REQUIRED ORD#12-36



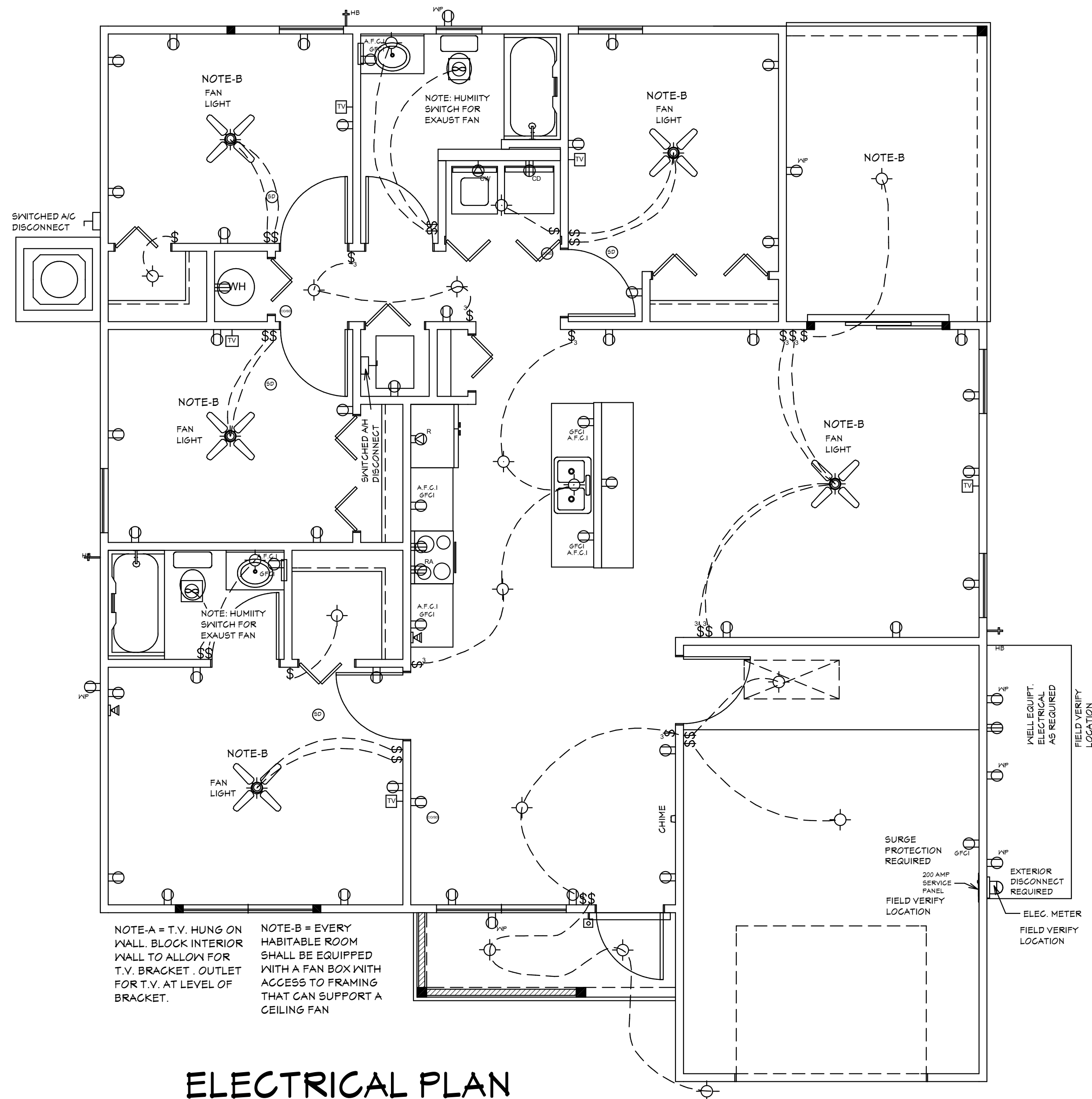
**NOTE: ADD BLOCKING AS REQUIRED FOR HANDI CAP GRAB BARS IN ALL MODELS. VERIFY LOCATIONS OF BLOCKING BEFORE START OF CONSTRUCTION.**

**GENERAL NOTES**  
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.  
2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.  
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS, AND/OR OMISSIONS PRIOR TO CONSTRUCTION. IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECEIPT OF PLANS, AND PRIOR TO ANY CONSTRUCTION. CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME.  
4. HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, CHAPTER 3, AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE, TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE STATE, COUNTY, AND LOCAL STATUTES, ORDINANCES, REGULATIONS, AND RULES.  
NOTE: MASTER PLANS FEMA FLOOD ZONES CONSTRUCTION NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND A/C UNIT AND ALL EQUIPMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANTIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION LCD CHAPTER 6 ARTICLE IV FLOOD HAZARD REDUCTION.  
THIS RESIDENCE MAY NOT BE BUILT WITHIN 60' OF ANOTHER STRUCTURE OR 90' FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

**Quattrone & Associates, Inc.**  
Engineers, Planners, & Development Consultants  
4301 Venetian Shoreline Blvd. Fort Myers, FL 33916 (239) 536-5222 QATinc.com  
AL: QUA170001E P.E. 12/21/11

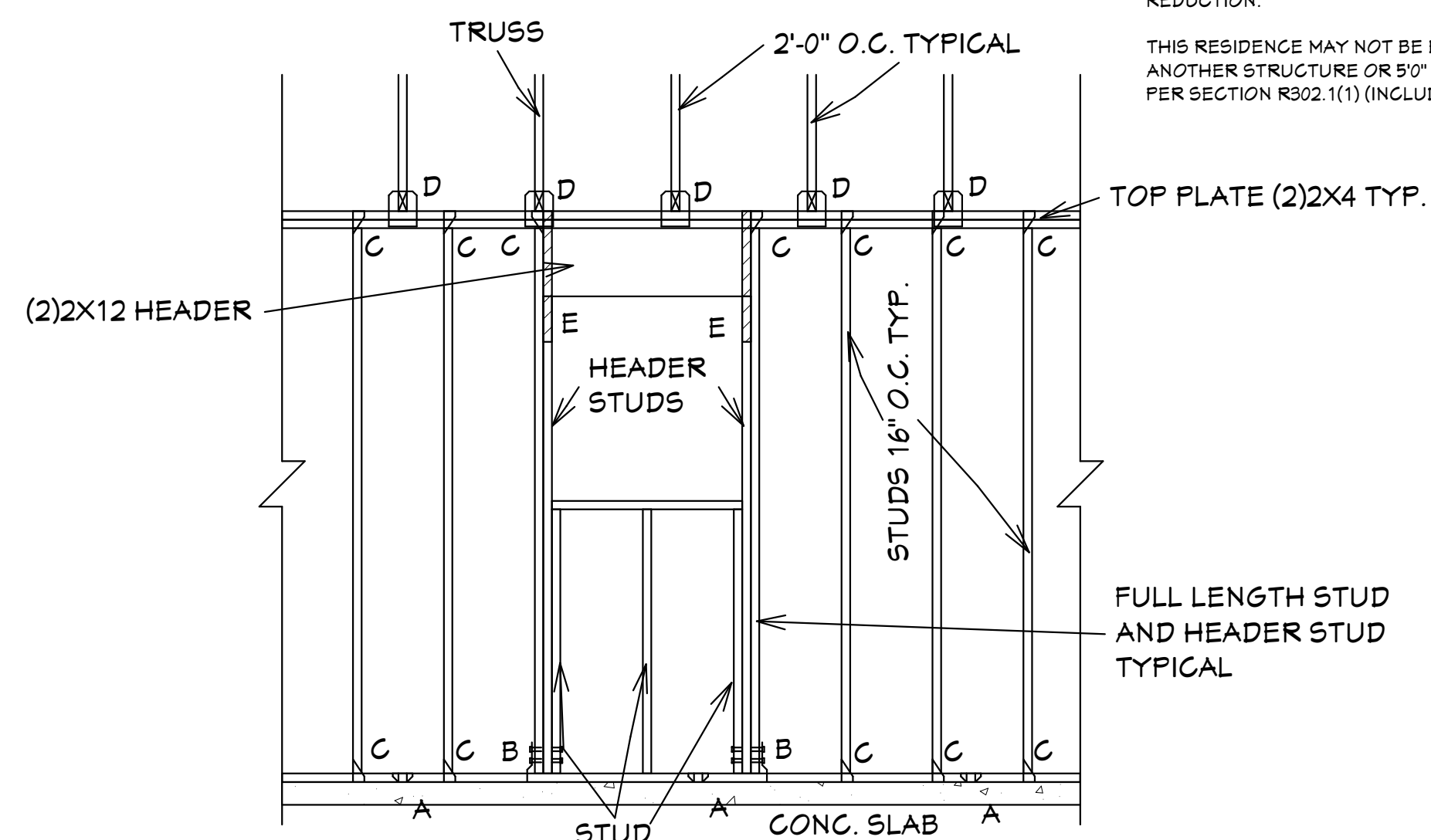
**COMPLIANCE STATEMENT**  
THESE PLANS HAVE BEEN DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AND THE DESIGN PARAMETERS FOR THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE CHAPTER 3 IN GENERAL AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE.

03-08-2024



**ELECTRICAL PLAN**

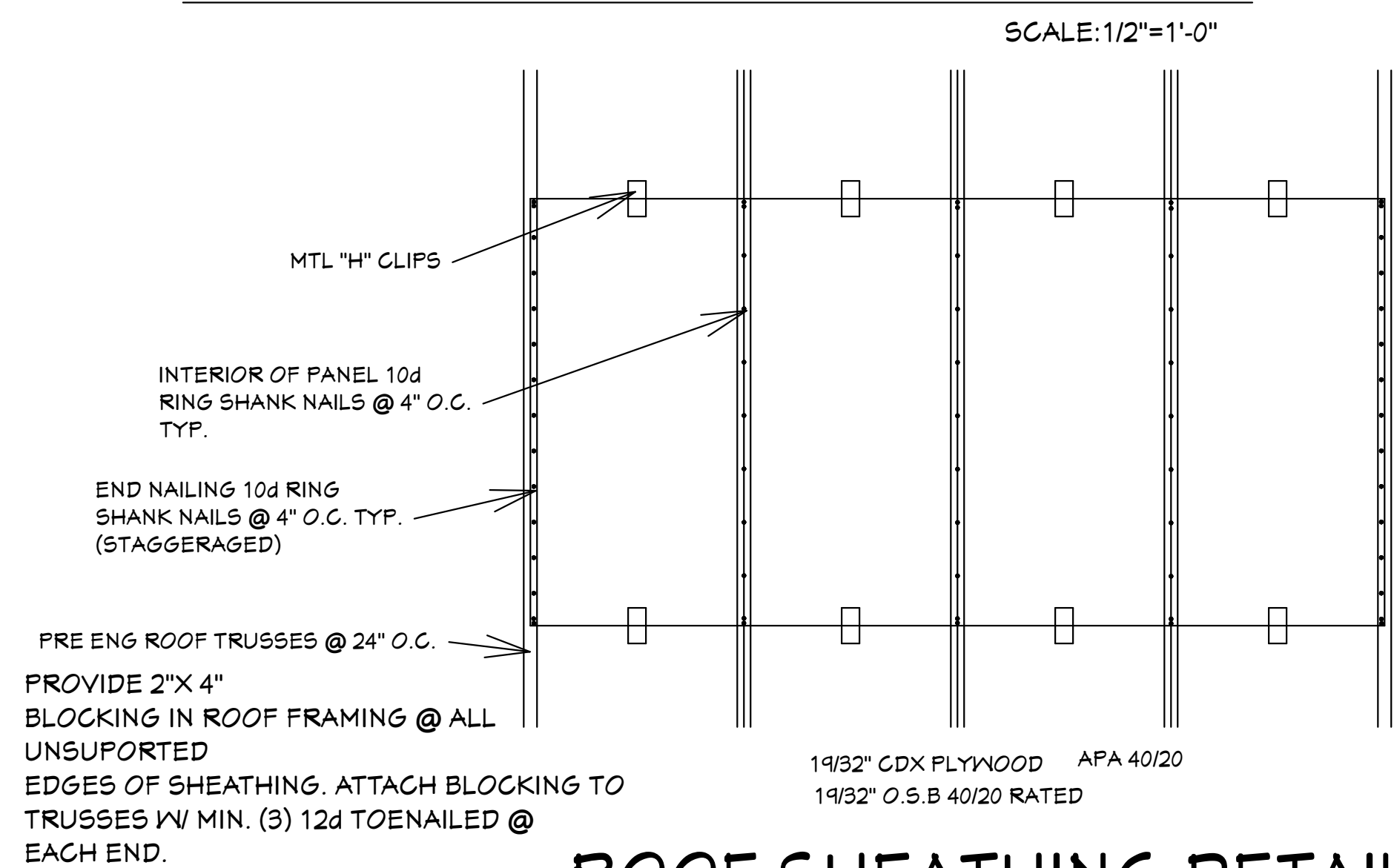
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	Audio Video: Control Panel, Switch
	DENOTES WALL OUTLET TAMPER RESISTANT
	DENOTES GFCI WALL OUTLET
	DENOTES WATER PROOF WALL OUTLET
	DENOTES 220 VOLT WALL OUTLET
	DENOTES FLOOR OUTLET
	DENOTES COVERED FLOOR OUTLET
	DENOTES T.V. OUTLET
	DENOTES DOOR BELL
	DENOTES PHONE OUTLET
	DENOTES THERMOSTAT
	DENOTES 200 AMP SERVICE BOX
	DENOTES WALL SWITCH
	DENOTES 3 WAY SWITCH
	DENOTES 4 WAY SWITCH
	DENOTES 5 WAY SWITCH
	DENOTES DIMMER SWITCH
	DENOTES WATER PROOF SWITCH
	DENOTES CEILING OR WALL FIXTURE
	DENOTES FLOOD LIGHTS
	DENOTES RECESS FIXTURE
	DENOTES FLOR LIGHT
	DENOTES EXHAUST FAN
	DENOTES SMOKE DETECTOR
	DENOTES SMOKE DETECTOR CARBON MONOXIDE ALARM COMBO
	DENOTES JUNCTION BOX & COVER FOR FUTURE FAN
	DENOTES JUNCTION BOX W/COVER
	DENOTES ZENFLEX LOW VOLTAGE LIGHTING SYSTEM
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Intercom
	Speakers: Ceiling Mounted, Wall Mounted
	240V Receptacle
	Thermostat
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture



"A" SIMPSON MAS CONNECTOR WITH (6) 10d x 1 1/2" NAILS @ 2'-0" O.C. (PLATE TO SLAB) OR 1/2" J-BOLT (7" MINIMUM EMBEDMENT) AND 2" X 2" X 1/8" PLATE WASHER @ 16" O.C. OR 1/2" X 6" TITEN HD SCREWS @ 16" O.C.  
"B" SIMPSON HD-3B SHEARWALL HOLDOWN W/(2) 5/8" DIA. BOLTS PER STUD AND (1) 5/8" X 6" LONG EXPANSION BOLT  
"C" SIMPSON H-2.5A OR H-3 OR EQUAL (STUD TO PLATE)  
"D" SIMPSON H10A WITH (18) 10d x 1 1/2" NAILS OR EQUAL (TRUSS TO PLATE)  
"E" SIMPSON LSTA-18 WITH (14) 10d NAILS

**FRAMING DETAIL (TYP.)**

ALL EXTERIOR WALLS ARE SHEARWALLS PER FRAMING DETAIL SHEET 5 OF 7 & EXTERIOR WALL NAILING DETAIL ON SHEET 4 OF 7. SHEAR WALL SECTIONS ARE SHOWN ON SHT 1 OF 7



**SCALE: 1/2" = 1'-0"**

**ROOF SHEATHING DETAIL**  
SCALE: 3/4" = 1'-0"

**REVISIONS:**

02-02-2022
03-08-2024

**HICKS DRAFTING & DESIGN**  
4216 5TH STREET W  
LEHIGH ACRES, FL. 33471  
CELL: (239) 462-2734  
E-MAIL: DHICKS928@AOL.COM

BUILDER: HABITAT FOR HUMANITY  
4 BEDROOM 2 BATH HOME /160 MPH WIND LOADING  
NEW HOUSE FOR:  
LOT- /BLOCK- /UNIT- /SECTION- EAST  
TOWNSHIP- SOUTH/RANGE-  
STREET:  
ADDRESS:

**DRAWN BY**  
DAVID HICKS

**DATE:** 03-29-2021

**SCALE:** 1/4" = 1'-0"

**JOB #** 2024-047

**SHEET**  
5 OF 7

03-08-2024 REVISIONS

CAPE PALM 2 4/21 MODEL / RIGHT HAND GARAGE / MONO FOOTER / 2023 CODE / 10' 1/2" CANT











CAPE PALM 2 4/2/1-RHG WALL SCHEDULE			
WALL#	LENGTH	EXTERIOR OR INTERIOR	NOTES
1	11'-11 1/2"	EXTERIOR	2 X 4 SYP #2 WALL
2	9'-10"	EXTERIOR	2 X 4 SYP #2 WALL PLUMBING (NAS 2 X 6)
3	10'-4"	EXTERIOR	2 X 4 SYP #2 WALL
4	14'-0"	EXTERIOR	2 X 4 SYP #2 WALL
5	9'-2"	EXTERIOR	2 X 4 SYP #2 WALL
6	14'-11 1/2"	EXTERIOR	2 X 4 SYP #2 WALL
7	10'-6"	EXTERIOR	2 X 4 SYP #2 WALL
8	10'-5 1/2"	EXTERIOR	2 X 4 SYP #2 WALL
9	14'-4 1/2"	EXTERIOR	2 X 4 SYP #2 WALL
10	8'-0"	EXTERIOR	2 X 4 SYP #2 WALL
11	12'-7"	EXTERIOR	2 X 4 SYP #2 WALL
12	14'-7 1/2"	EXTERIOR	2 X 4 SYP #2 WALL
13	11'-4"	EXTERIOR	2 X 4 SYP #2 WALL
14	5'-10"	EXTERIOR	2 X 4 SYP #2 WALL
15	10'-2"	EXTERIOR	2 X 4 SYP #2 WALL
16	14'-3 1/2"	EXTERIOR	2 X 4 SYP #2 WALL
17	50	11'-8"	INTERIOR 2 X 4 SPF WALL
18	51	3'-9"	INTERIOR 2 X 4 SPF WALL
19	52	10'-3 1/2"	INTERIOR 2 X 4 SPF WALL
20	53	4'-3-1/2"	INTERIOR 2 X 4 SPF WALL
21	54	5'-9 1/2"	INTERIOR 2 X 6 SPF #2 PLUMBING
22	55	2'-10"	INTERIOR 2 X 4 SPF WALL (NAS 2 X 6)
23	56	3'-5"	INTERIOR 2 X 4 SPF WALL
24	57	3'-5"	INTERIOR 2 X 4 SPF WALL
25	58	11'-8"	INTERIOR 2 X 4 SPF WALL
26	59	5'-9"	INTERIOR 2 X 4 SPF WALL
27	60	3'-6 1/2"	INTERIOR 2 X 4 SPF WALL
28	61	3'-3"	INTERIOR 2 X 4 SPF WALL
29	62	5'-2"	INTERIOR 2 X 4 SPF WALL
30	63	10'-2"	INTERIOR 2 X 4 SPF WALL
31	64	8'-5"	INTERIOR 2 X 4 SPF #2 PLUMBING (NAS 2 X 6)
32	65	5'-7 1/2"	INTERIOR 2 X 4 SPF WALL
33	66	12'-5 1/2"	INTERIOR 2 X 4 SPF WALL
34	67	5'-3"	INTERIOR 2 X 4 SPF WALL
35	68	8'-5"	INTERIOR 2 X 4 SPF WALL
36	69	5'-7 1/2"	INTERIOR 2 X 4 SPF WALL
37	70	11'-4"	INTERIOR 2 X 4 SPF WALL
38	71	12'-8"	INTERIOR 2 X 4 SYP #2 WALL
39	72	14'-1"	INTERIOR 2 X 4 SYP #2 WALL
40	73	7'-10"	INTERIOR 2 X 4 SPF #2 LOW PLUMBING (NAS 2 X 6)
41	74	13'-8 1/2"	INTERIOR 2 X 4 SPF WALL
42	75	6'-5 1/2"	INTERIOR 2 X 4 SPF WALL
43	76	2'-1"	INTERIOR 2 X 4 SPF WALL
44	77	10'-4"	INTERIOR 2 X 4 SPF WALL
45	78		
46	79		
47	80		

R.O. OPENINGS FOR DOORS AND WINDOWS  
 (2) 3068 EXTERIOR SLIDING GLASS DOORS T2 1/2" X 81 3/8"  
 3068 EXTERIOR DOOR 38" X 81 3/8"  
 3068 INTERIOR DOOR 38" X 81"  
 2068 BI-FOLD DOOR 25 1/2" X 80"  
 2868 BI-FOLD DOOR 33 1/2" X 80"  
 3068 BI-FOLD DOOR 37 1/2" X 80"  
 5068 BI-FOLD DOOR 61 1/2" X 80"  
 5468 BI-FOLD DOOR 65" X 80"  
 6068 BI-FOLD DOOR 73 1/2" X 80"  
 SH-25 SINGLE HUNG WINDOW 36 1/2" X 62 3/4"  
 (2) SH-25 SINGLE HUNG WINDOW 73 3/4" X 62 3/4"  
 H-33-SH SINGLE HUNG WINDOW 28" X 38 1/8"

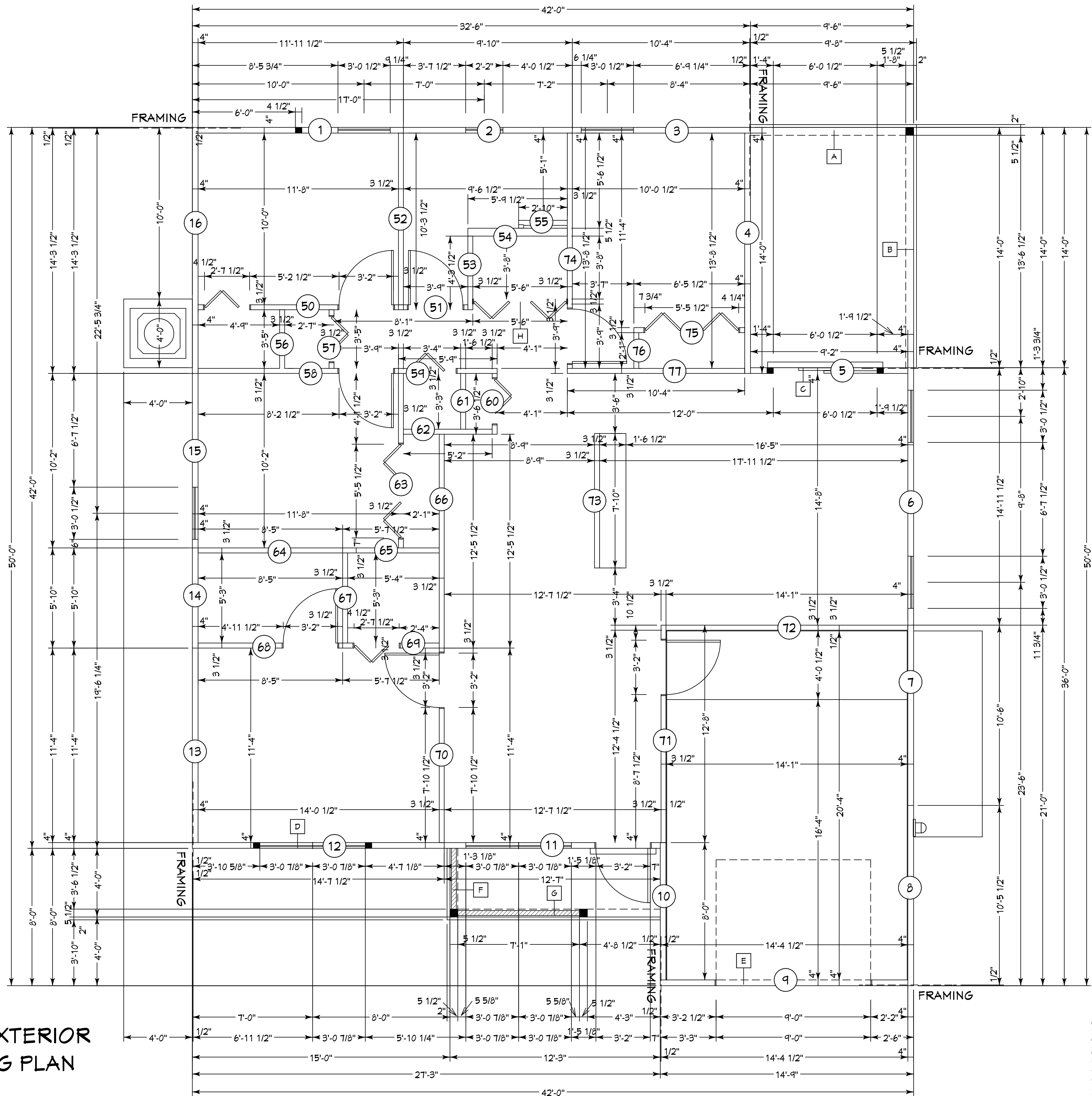
CAPE PALM 2 4/2/1-RHG MODEL LVL BEAM SCHEDULE		
BEAM #	LENGTH	BEAM TYPE
A	9'-10"	(2) PLY 1 3/4" X 11 7/8" LVL BEAM
B	14'-4"	(2) PLY 1 3/4" X 11 7/8" LVL BEAM
C	6'-9-1/2"	(2) PLY 1 3/4" X 11 7/8" LVL BEAM
D	6'-10-3/4"	(2) PLY 1 3/4" X 11 7/8" LVL BEAM

CAPE PALM 2 4/2/1-RHG MODEL 2 X 12 SYP. BEAM SCHEDULE		
BEAM #	LENGTH	BEAM TYPE
E	9'-8"	(2) 2 X 12 SYP #1 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)
F	4'-0"	(2) 2 X 12 SYP #1 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)
G	12'-7"	(2) 2 X 12 SYP #1 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)
H	6'-2"	(2) 2 X 12 SYP #1 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)

NOTE: ALL DIMENSIONS AS PER BUILDER

**INTERIOR & EXTERIOR WALL FRAMING PLAN**  
 SCALE: N.T.S.

NOTE: EXTERIOR WOOD WALLS ARE 3 1/2" WIDE WITH 15/32" PLYWOOD (4" TOTAL) UNLESS NOTED DIFFERENT.  
 INTERIOR WOOD WALLS ARE 3 1/2" & 5 1/2" WIDE WOOD WALLS UNLESS NOTED DIFFERENT.



CAPE PALM 2 4/2/1 MODEL / RIGHT HAND GARAGE / MONO FOOTER / 2023 CODE / 10 1/2" CANT

03-08-2024 REVISIONS

**REVISIONS:**

02-02-2022
03-08-2024

**HICKS DRAFTING & DESIGN**  
 4216 5TH STREET NW  
 LEHIGH ACRES, FL. 33471  
 CELL: (239) 462-2734  
 E-MAIL: DHICKS928@AOL.COM

BUILDER: HABITAT FOR HUMANITY  
 4 BEDROOM 2 BATH HOME / 160 MPH WIND LOADING  
 NEW HOUSE FOR:  
 LOT- /BLOCK- /UNIT- /SECTION- EAST  
 TOWNSHIP- SOUTH/RANGE- EAST  
 STRAP# ADDRESS:

**DRAWN BY**  
 DAVID HICKS  
**DATE:** 03-29-2021  
**SCALE:** 1/4"=1'0"  
**JOB #** 2024-047

**SHEET**  
 SH-1 SH-1  
 OF SHEET

**Quatrone & Associates, Inc.**  
 Engineers, Planners, & Development Consultants  
 4301 Venetian Shores Blvd., Fort Myers, FL 33916 (239) 536-5222  
 Certifications: Professional Engineer, State of Florida, License No. 52741. This seal has been expired and is not valid for the State of Florida. 03-19-2024

PLUMBING SYMBOLS OF THE DISPOSITION AS THE CONSIDERED APPROVED AND SEALED AND THE APPROPRIATE MUST BE USED FOR ANY ELECTRICAL CODES.

COMPLIANCE STATEMENT  
 THESE PLANS HAVE BEEN DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AND THE DESIGN PARAMETERS FOR THE (6TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE CHAPTER 3 IN GENERAL AND SECTION 1604 OF THE (6TH EDITION) OF THE 2023 FLORIDA BUILDING CODE.

03-08-2024