

E = Nail spacing along panel edges (inches)

36" X 36" X 12" DEEP

REBARS EACH WAY.

CONC PAD WITH 4 #5

← 4'-0" ─

1'-8 1/2"\

F = Nail spacing along intermediate supports in the panel field (inches)

1/2'

0'0" ELEV.

0'0" ELEV.

FINISH FLOOR

A/H DRAIN LINE PROVIDE 1"

FINISH FLOOR M/H AT FINISH FLOOR ELEVATION

a. For sheathing located a minimum of 4 feet from the perimeter edge of the roof, including 4 feet on each side of ridges and hips, nail spacing is permitted to be 6 inches on center along panel edges and 6 inches on center along intermediate supports in the panel field.

0'0" ELEY.

FINISH FLOOR

B" X 8" MONO FOOTER

WITH 1 #5 REBAR CONT

b. Where rafter/truss spacing is less than 24 inches on center, roof sheathing fastening is permitted to be in accordance with the AWC WFCM or the AWC NDS.

4 1/2"

4" CONC SLAB W/6X6 M2.9XM2.9 MMF

BARRIER LAPPED 6" AND TAPPED ON

WELL COMPACTED AND TREATED

FILL.(TYPICAL ALL SLABS)

36" X 36" X 12" DEEP

REBARS EACH MAY

8" X 8" MONO FOOTER WITH 1 #5 REBAR CONT. TYPICAL AT FRONT PORCH

CONC PAD WITH 4 #5

OR FIBERMESH OVER 6 MIL POLY-VAPOR

0'0" ELEV.

FINISH FLOOR

R803.2.2Allowable spans.

The minimum thickness and span rating for wood structural panel roof sheathing shall not exceed the values set forth in Table R803.2.2. TABLE R803.2.2

MINIMUM ROOF SHEATHING THICKNESS

36" × 36" × 12" DEEP

CONC PAD WITH 4 #5

REBARS EACH WAY.

| Rafter/Truss Spacing24 in. o.c. | | WIND SPEED | | | | | | | | |
|---|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--|--|
| | 115 mph | 120 mph | 130 mph | 140 mph | 150 mph | 160 mph | 170 mph | 180 mph | | |
| Minimum Sheathing Thickness, inches(Panel Span Rating) Exposure B | 7/16(24/16) | 7/16(24/16) | 7/16(24/16) | 7/16(24/16) | 15/32(32/16) | 19/32(40/20) | 19/32(40/20) | 19/32(40/20) | | |
| Minimum Sheathing Thickness, inches(Panel Span Rating) Exposure C | 7/16(24/16) | 7/16(24/16) | 15/32(32/16) | 19/32(40/20) | 19/32(40/20) | 19/32(40/20) | 19/32(40/20) | 23/32(48/24) | | |
| Minimum Sheathing Thickness, inches(Panel Span Rating) Exposure D | 15/32(32/16) | 19/32(40/20) | 19/32(40/20) | 19/32(40/20) | 19/32(40/20) | 19/32(40/20) | 23/32(48/24) | 23/32(48/24) | | |

Option #1 a self-adhering polymer-modified bitumen underlayment complying with ASTM D1970 applied over the entire roof.

modified bitumen complying with ASTM D1970 or a minimum 3 3/4 - inch wide strip of selfadhering flexible flashing tape complying with AAMA 711, applied over all joints in the roof decking. A felt underlayment complying with ASTM D226 Type II, ASTM D4869 Type III or IV, or ASTM D6757, or a synthetic underlayment meeting the performance requirements specified, is required to be applied over the strips/tape over the entire roof. (See Table 1507.1.1.1 of the FBCB or Table

Option #3 three layers of felt underlayment comply ASTM D226 Type II or ASTM D4869 Type III or IV, or three layers of a synthetic underlayment meeting the performance requirements specified

R905.2 ASPHALT SHINGLES SHALL HAVE SELF SEAL STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D-225 OR ASTM D-3462 AND SHINGLES NEED TO BE CLASSIFIED AST

OVER 30# FELT (UNDERLAYMENT MEETS REQUIREMENTS OF R905.1.1.1) OVER 19/32" PLYWOOD SHEATHING OR 19/32" OSB AT 4" O.C. AT EDGES AND 4" O.C. AT INTERMEDIATE SUPPORT

26 GA ALUM OR GALV. DRIP EDGE

IN COMPLIANCE WITH R703.1.2.1 CEMENTITIOUS FINISH OVER SELF FURRING WIRE LATH 2.5

1/2" DOW CHEMICAL STYROFOAM BRAND R-3 RESIDENTIAL FOAM SHEATHING INSULATION

TOP AND BOTTOM WALL PLATES. 4" O.C. AT VERTICAL EDGES 6" O.C. AT INTERMEDIATE FRAMING

ON 1/4" POLYETHYLENE FOAM GASKET ELEVATION OF GRADE

8" BELOW TOP OF 8" SLAB.(TYPICAL)

TYPICAL WALL SECTION

3/4" = 1'-0"

4" CONCRETE SLAB W/ 6" X 6" WIRE MESH

CLEAN COMPACTED POISONED FILL OR OPTIONAL BORA CARE TREATMENT

(DOUBLE MESH 3 FT AT EDGE) OR FIBERMESH

OVER 6 MIL YB LAPPED 6" AND TAPPED OVER

UNDERLAYMENT MUST MEETS REQUIREMENTS OF R905.1.1.1

Option #2 a minimum 4-inch wide strip of selfadhering polymer-R905.1.1.1 of the FBCR for fastener type and spacing).

where felt underlayment is used, it must be 30# or equivalent (ASTM D

226 Type II, ASTM D4869 Types III or IV)

(H) OR (F) TABLE 1507.2 & TABLE R905.2.6.1

40/20 RATED SHEATHING WITH 10d RING SHANK NAILS R803.2.3.1

2 X 6 SUB FACIA M/ALUM FASCIA & FLAT VINYL YENTED SOFFIT.REFER TO SOFFIT DETAIL ON SHEET 3 OF 7 FOR SPECIFICATIONS. SOFFIT

OVER 2 LAYERS OF 15 # FELT OR TYVEK EQUIVALENT R703

15/32" PLYMOOD SHEATHING OR 7/16" OSB 24/16 RATED SHEATHING USE 8d NAILS AT 4" O.C. ALONG

2 X 4 P.T. BOTTOM PLATE

SIDING 1" BELOW SLAB

20" X 12" MONO FTG. W/ 2 #5

10 1/2"

CANT O.H.

REBARS CONT.(3IN. MIN. COVER)

SIMPSON H-2.5A OR H-3 OR EQUAL TO SOLE PLATE

1/2" J-BOLTS(7" EMBEDMENT)W/2" X 2" X

1/8" PLATE WASHER @16" O.C. (PLATE

TO CONC.) TYPICAL OR 1/2" X 6" TITEN

- R-38 INSUL.

5/8" WALLBOARD CEILING

OR 1/2" SAG. RESISTENT

FOAM SEAL GASKET BETWEEN

(2) 2 X 12 SYP WITH 1/2" PLYWOOD

TOP PLATE AND DRY WALL

FLITCH PLATE HEADER

2 X 4 SYP STUDS 16" O.C.

HD SCREWS @ 16" O.C.

MOOD BASE BOARD

-1/2" WALL BOARD

ALUM. WINDOW

2 X 4 PLATE

R-15 INSUL

FOUNDATION PLAN

GENERAL NOTES 1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.DIMENSIONS TAKE PRECEDENCE OVER SCALED

2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS, AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.

3.IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS, AND/OR OMISSIONS PRIOR TO CONSTRUCTION IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN IN WRITING WITHIN 10 DAYS OF RECIEPT OF PLANS, AND PRIOR TO ANY CONSTRUCTION, OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME. 4.HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE. CHAPTER 3 AND SECTION 1609 OF THE (8TH EDITION) OF THE

2023 FLORIDA BUILDING CODE. TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE STATE, COUNTY, AND LOCAL STATUES, ORDINANCES, REGULATIONS, AND RULES. NOTE: MASTER PLANS

FEMA/FLOOD ZONES CONSTRUCTION NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, NCLUDING GARAGE OR BASEMENT AND A/C W/H AND ALL EQUIPTMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION.LCD CHAPTER 6 ,ARTICLE IV FLOOD HAZARD REDUCTION.

THIS RESIDENCE MAY NOT BE BUILT WITHIN 6'0" OF ANOTHER STRUCTURE OR 5'0" FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

PRE-ENGINEERED WOOD

TRUSS 24" O.C. SIMPSON H-10A TRUSS TO PLATE SIMPSON H.2.5A PLATE TO

STUD OR EQUAL

Q

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REVISIONS:

02-02-2022

03-08-2024

Al Quattrone, Professional Engineer, State of Florida, License No. 52741 This item has been digitally signed and sealed by Al Quattrone, PE, on 3/18/2024.

Printed copies of this document are not

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ssociate

uattrone gineers, Planne

DRAWN BY DAVID HICKS

DATE: 03-29-2021

SCALE:1/4"=1'0"

JOB # 2024-047

SHEET

SHEET

CONTRACTOR PRIOR TO START OF CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR VERIFYING ROUGH OPENING AND SIZES OF ALL DOORS AND WINDOWS BEFORE STARTING CONSTRUCTION PROVIDE 1" PVC DRAIN LINE FOR AIR HANDLER

ALLOW FOR ELECTRICAL IN SLAB AS REQ BY OWNER OR

BUILDER.ELECTRICAL CONTRACTOR TO VERIFY NEEDS WITH

NOTE: ALL EXTERIOR WALLS ARE 3 1/2" WIDE WOOD WALL WITH 15/32" PLYWOOD AND 1/2" DRYWALL (4 1/2" TOTAL) UNLESS NOTED DIFFERENT NOTE: ALL INTERIOR WALLS ARE 3 1/2" AND 5 1/2" WIDE WOOD WALLS WITH 1/2" DRYWALL EACH SIDE

(41/2" & 61/2" TOTAL) UNLESS NOTED DIFFERENT.

BELOW FINISH FLOOK

36" × 36" × 12" DEEP

CONC PAD WITH 4 #5

REBARS EACH WAY

ELEVATION OR ABOVE THE MINIMUM FLOOD ELEVATION BFE +1 FOOT OF FREEBOARD.WITH THE EXCEPTION OF RISERS OR UNDERGROUND LINES. IT IS ACCEPTABLE FOR THE LOCATION OF A/C AND WELL EQUIPMENT AND OTHER UTILITY PAD LOCATIONS TO BE MOVED AS REQUIRED TO A DIFFERENT LOCATION OR DELETED IF NOT REQUIRED. REFER TO SITE PLAN FOR ACTUAL LOCATIONS OF UTILITY PADS.

5/8" BOLTS EACH

SIDE OF WINDOW&

DOORS (TYPICAL)

FINISH FLOOR

0'0" ELEY.

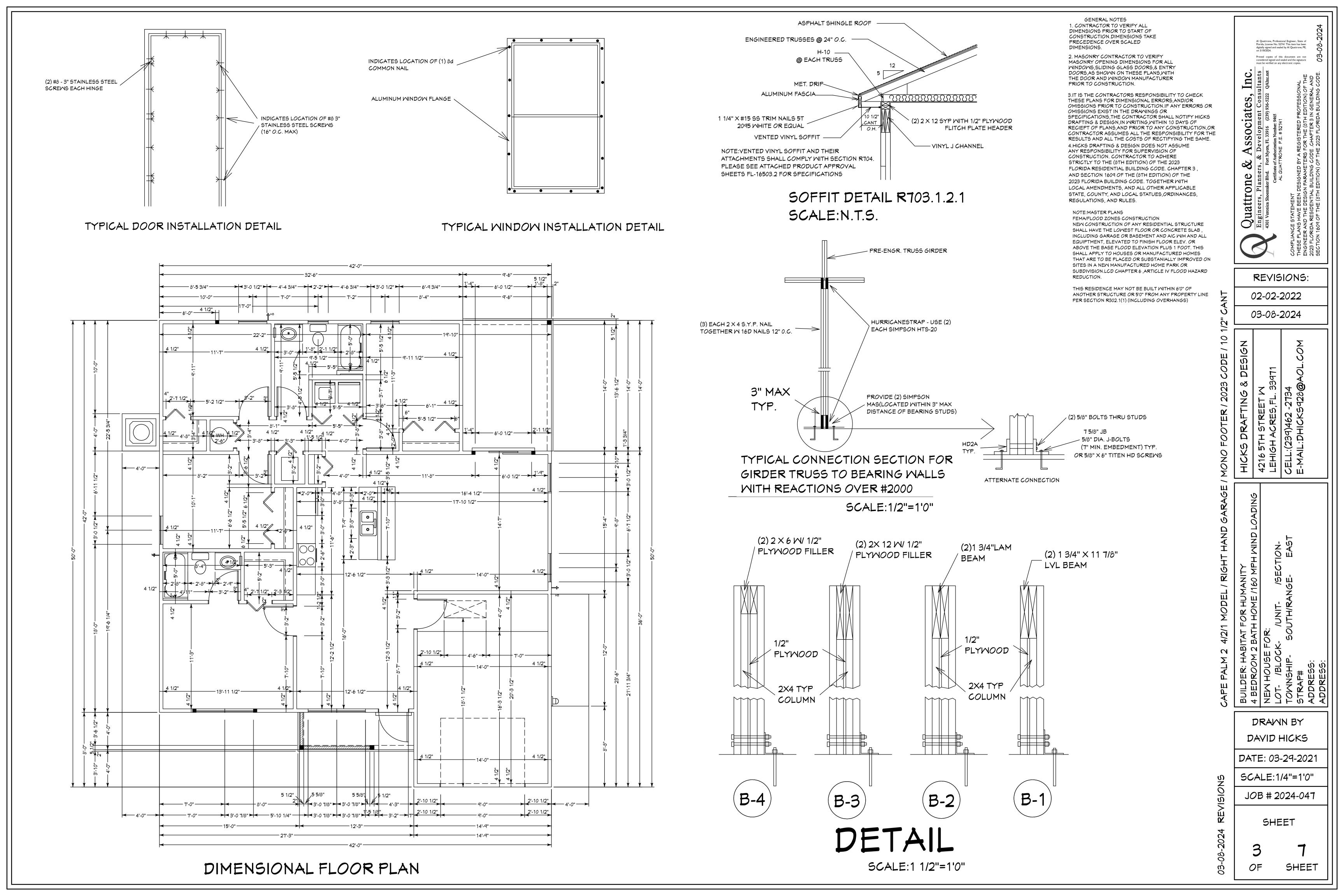
FINISH FLOOR

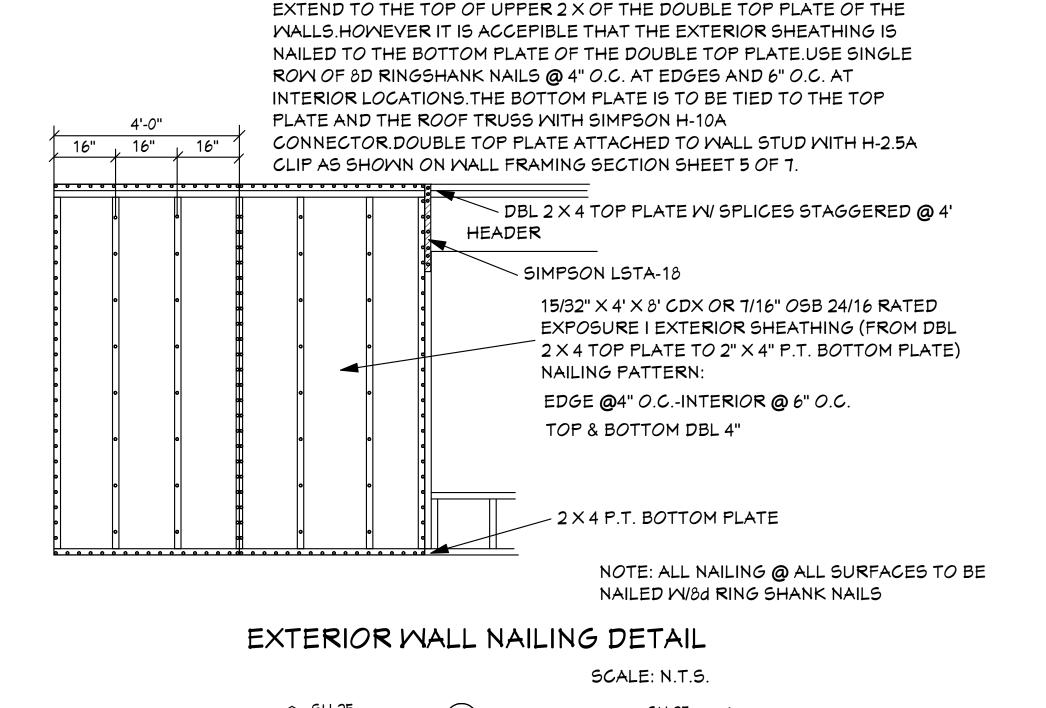
START SLOPE

END SLOPE

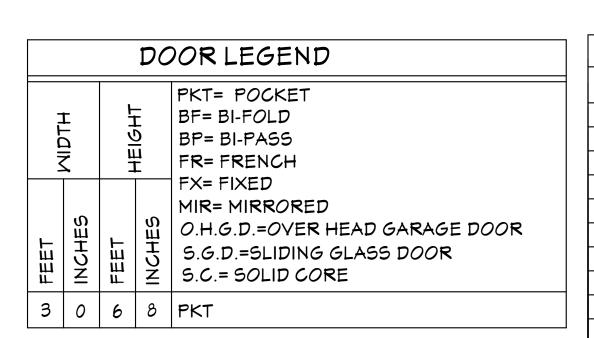
RECESS 3/4" FOR WATER STOP

BELOW FINISH FLOOR





NOTE: THIS SECTION SHOWS FOR THE EXTERIOR SHEATHING TO



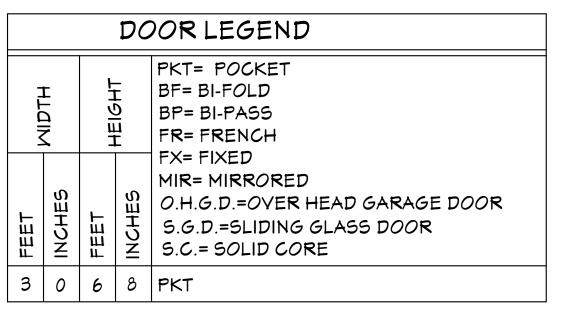
HURRICANE CLIP

@ EXT. BEARING MALL

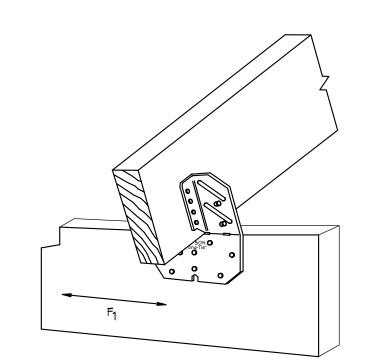
Simpson Strong-Tie

H10A

BOTTOM CHORD OF ALL TRUSSES IN LANAI AND ENTRY (AREAS EXPOSED TO WIND). IT IS ACCEPTABLE TO ADD SHEATHING IN THESE AREAS AND SHEATHING TO BE 15/32" EXTERIOR GRADE PLYWOOD OR 7/16" O.S.B. BOARD. ATTACH PLYWOOD OR O.S.B. BOARD TO BOTTOM CHORDS OF ROOF TRUSSES WITH 10d NAILS AT 4" O.C. AT EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS. IT IS ACCEPTABLE TO COVER PLYMOOD WITH SOLID VINYL SOFFIT FL-16503.2.ATTACH SOLID VINYL SOFFIT TO PLYWOOD OR O.S.B. BOARD WITH 16 GA X 7/16" WIDTH CROWN STAPLE 5/8" MIN LENGTH @ 12" O.C. SOLID VINYL SOFFIT MEETS REQUIREMENTS OF THE 8TH EDITION OF THE 2023 F.R.B.C.



°NOTE:



Simpson Strong-Tie H10A

2668 B.F.

3068

(2)2868 B.F.

3068

2668 B.F.

BEDROOM# 2

BEDROOM# 2

MASTER BED

MASTER W.I.C

MASTER BATH

HURRICANE CLIP @ EXT. BEARING MD. BEAM

| | INTERIOR DOOR SCHEDULE | | | | | | | | |
|------|------------------------|---------------|-------|-------------|------------|--|--|--|--|
| QTY. | ROOM | SIZE | MANUF | DESIGNATION | NOTES | | | | |
| 1 | GARAGE | 3068 | | | SOLID CORE | | | | |
| 1 | BEDROOM #3 | 3068 | | | | | | | |
| 1 | BEDROOM #3 | (2) 2868 B.F. | | | | | | | |
| 1 | UTILITY | (2) 2868 B.F. | | | | | | | |
| 1 | PANTRY | 2668 B.F. | | | | | | | |
| 1 | HALL | 2868 B.F. | | | | | | | |
| 1 | BATH # 1 | 3068 | | | | | | | |
| 1 | BEDROOM#1 | 3068 | | | | | | | |
| 1 | BEDROOM#1 | 2668 B.F. | | | | | | | |

| GENERAL NOTES |
|------------------------------|
| 1. CONTRACTOR TO VERIFY ALL |
| DIMENSIONS PRIOR TO START OF |
| CONSTRUCTION.DIMENSIONS TAKE |
| PRECEDENCE OVER SCALED |
| DIMENSIONS. |
| |

2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS, AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.

3.IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS, AND/OR OMISSIONS PRIOR TO CONSTRUCTION IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECIEPT OF PLANS, AND PRIOR TO ANY CONSTRUCTION, OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME. 4.HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE. CHAPTER 3 AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE. TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE STATE, COUNTY, AND LOCAL STATUES, ORDINANCES, REGULATIONS, AND RULES.

NOTE: MASTER PLANS FEMA/FLOOD ZONES CONSTRUCTION

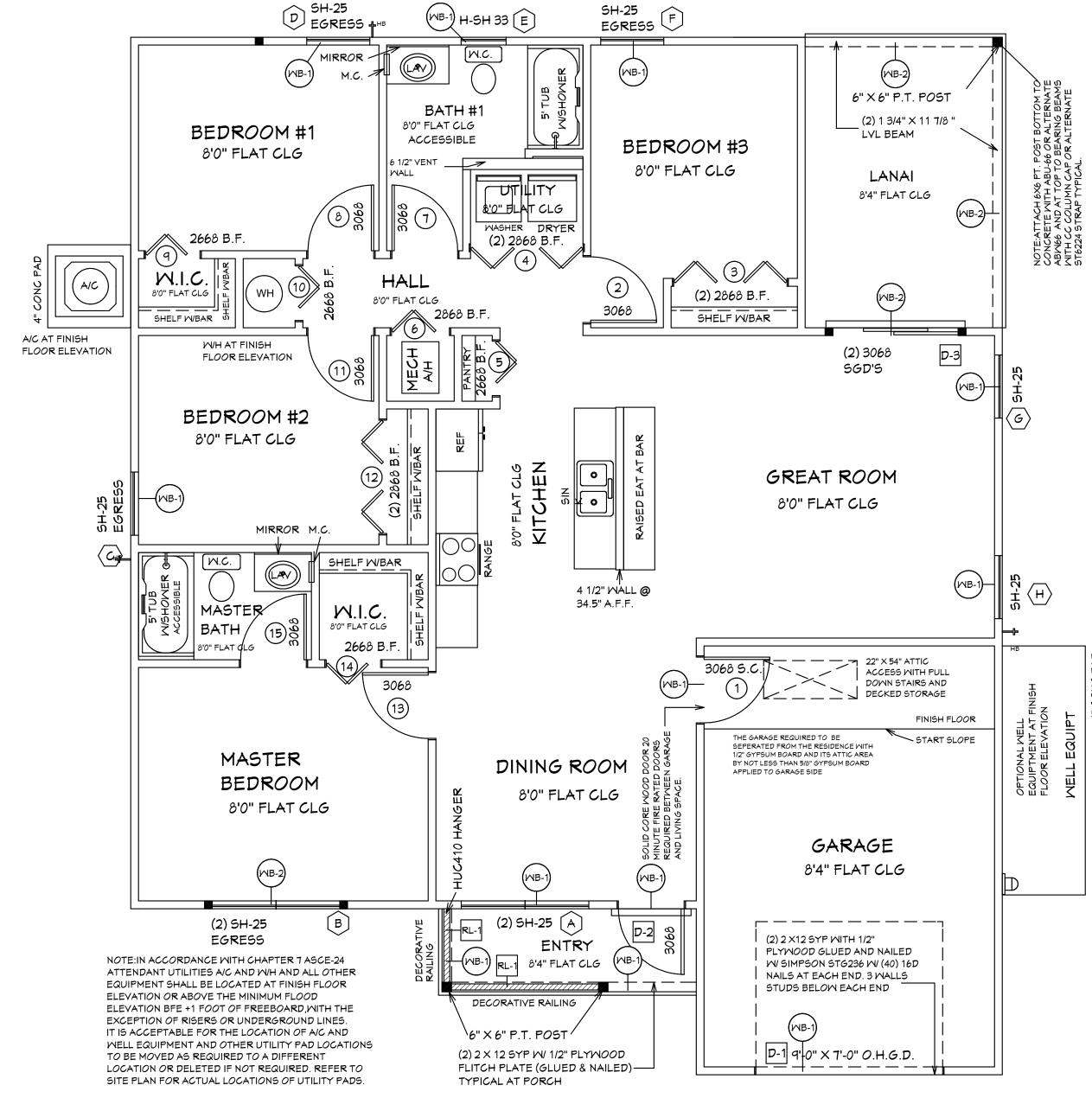
NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND A/C M/H AND ALL EQUIPTMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION.LCD CHAPTER 6 ,ARTICLE IV FLOOD HAZARD

REDUCTION. THIS RESIDENCE MAY NOT BE BUILT WITHIN 6'0" OF

ANOTHER STRUCTURE OR 5'0" FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

| AREA S | CHEDULE |
|------------|--------------|
| LIVING A/C | 1449 SQ. FT. |
| ENTRY | 49 SQ. FT. |
| GARAGE | 300 SQ. FT. |
| LANAI | 133 SQ. FT. |
| TOTAL | 1931 SQ.FT. |

| | | | PRODUCTS | CHEDL | JLE | <u> </u> | | 160 1 | • | MATE DESIGN) = 124 (SED STRUCTURE | (NOMINAL DESIGN) |
|----------------|------|------------------|--|--------------------------------|------------|---------------------|---|-----------------------|--------------------------|--|--|
| | | | W.O. DOOR SIZE | | | RESIGN RES. | MINDOM / DOOR PRODUCT | INSTALLATION NOTES | MIND- BORNE DEBRIS | TYPE OF WINDBORNE DEBRIS PROTECTION (WHERE APPLICABLE) | IMPACT COVERING PRODUCT APPROVAL |
| ROOM NAME | MARK | CALL SIZE | M.O. MINDOM SIZE (MxH) | DETAIL H J S | ZONE | Ш й С С (PSF) | APPROVAL DESIGNATION / ENTITY | (LIST BELOW) | REGION Y/N | TYPE GLAZING / COVERING | DESIGNATION / ENTITY (WHERE APPLICABLE) |
| | | | DOOR SCHI | | 114 | (1 51) | | | | 02/211/07/00/12/411/0 | , |
| GARAGE | D-1 | 9070 O.H.G.D. | 9'-0" × 7'-0" | PER MFR. | 5 | 24.72/-31.20 | REFER TO PRODUCT APPROVAL SHEETS | 3 | Y | N/A | IMPACT APPROVED WITHOUT GLAZING OR COVERING |
| FOYER | D-2 | 3068 6 PNL | 3'-2" × 6'-9 3/8" | PER MFR. | 5 | 26.40/-34.50 | REFER TO PRODUCT APPROVAL SHEETS | | Y | N/A | IMPACT APPROVED WITHOUT GLAZING OR COVERING |
| KITCHEN | D-3 | (2) 3068 SGD'S | 6'-0 1/2" × 6'-9 3/8" | PER MFR. | 5 | 26.40/-34.50 | REFER TO PRODUCT APPROVAL SHEETS | | Y | GLAZING | N/A |
| | | | | | | | , | | | | |
| | | | °WINDOW S | CHEDULE | • | • | | ' | • | | |
| DINING ROOM | (A) | (2) SH-25 | 73 3/4" × 62 3/4" | PER MFR. | 4 | 26.40/-28.74 | REFER TO PRODUCT APPROVAL SHEETS | | Y | COVERING | HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS |
| MASTER BEDROOM | B | (2) SH-25 EGRESS | 73 3/4" × 62 3/4" | PER MFR. | 5 | 26.40/-34.50 | REFER TO PRODUCT APPROVAL SHEETS | 1 | Y | COVERING | HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS |
| BEDROOM #2 | 0 | SH-25 EGRESS | 36 1/2" × 62 3/4" | PER MFR. | 4 | 27.66/-30.00 | REFER TO PRODUCT APPROVAL SHEETS | 1 | Y | COVERING | HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS |
| BEDROOM#1 | 0 | SH-25 EGRESS | 36 1/2" × 62 3/4" | PER MFR. | 4 | 27.66/-30.00 | REFER TO PRODUCT APPROVAL SHEETS | 1 | Y | COVERING | HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS |
| BATH | Ē | H-33 5H | 26" × 38 1/8" | PER MFR. | 4 | 27.66/-30.00 | REFER TO PRODUCT APPROVAL SHEETS | 2 | Y | COVERING | HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS |
| BEDROOM # 3 | F | SH-25 EGRESS | 36 1/2" × 62 3/4" | PER MFR. | 4 | 27.66/-30.00 | REFER TO PRODUCT APPROVAL SHEETS | 1 | Y | COVERING | HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS |
| GREAT ROOM | G | SH-25 | 36 1/2" × 62 3/4" | PER MFR. | 5 | 27.66/-37.02 | REFER TO PRODUCT APPROVAL SHEETS | | Y | COVERING | HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS |
| GREAT ROOM | (H) | 5H-25 | 36 1/2" × 62 3/4" | PER MFR. | 4 | 27.66/-30.00 | REFER TO PRODUCT APPROVAL SHEETS | | Y | COVERING | HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS |
| | | | | | | | | | | | |
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| | | | | | | | | | | | |
| | | | °ROOF CO | VERING N | 1AT | ERIAL | | | | | |
| | | °T° | 'PE | °MANUFACTUI | RER | | °APPROVED MOI | DEL, STYLE, OR | DESIGNA | TION | |
| | | ASPHALT | SHINGLES I | EFER TO PRODU | | | REFER TO PROD | UCT APPROVAL S | HEETS | | |
| | | | OMPLIANCE: | | | | | | | | |
| | | | | | | • | TH EDITION) OF THE 2023 F H THE (8TH EDITION) OF TH | | | • | |
| | | 3. MET | | | | • | EDITION) OF THE 2023 FLOR | RIDA RESIDENT | IAL BUILD | ING CODE., SEC. R90 | 95.10 |
| | | | °IMPACT F | RESISTAN | TCO | OVERING | MATERIAL | | | | |
| | | °TYP | | ANUFACTURE | | | °APPROVED MO | DEL, STYLE, OF | R DESIGN | ATION | |
| | | HURRICAN | JE PANELS I | FER TO PRODUC PROVAL SHEETS | | | REFER TO PR | RODUCT APPROV | AL SHEETS | | |
| | | INI | STALLATION NOTES: | | ۰۱ ت | EGEND: | °G17 | E DESIGNATION | 15 | | |
| | | | MEANS OF EGRESS | | | = DOOR DESI | IGNATION W= | MIDTH | - - | | |
| | | _ | 2. TEMPERED WINDOW SLX = SKYLITE H = HEIGHT DESIGNATION | | | | | | | | |
| | | | O.H. GARAGE DOOR | | | = MINDOM DI | | | | | |
| | | | ER TO VERIFY ALI DORS,SLIDING GL | | - | | R BUILD | ER TO SUPF | PLY PR | ODUCT APPROV | AL |
| | | | DWS PRIOR TO ST | | • | | ١. | | | | |
| | | MINDO | DWS SHGC= 0.24 | | | | | | | | |
| | | REFER | R TO ATTACHED E | NERGY CA | LCL | JLATIONS | AND ATTACHED | | | | |



NOTE: ALL EXTERIOR WALLS ARE 3 1/2" WIDE WOOD WALLS WITH 15/32" PLYWOOD EXTERIOR AND 1/2" DRYWALL INSIDE (4 1/2" TOTAL.) UNLESS NOTED DIFFERENT. NOTE: ALL INTERIOR WALLS ARE 4 1/2" AND 6 1/2" WIDE WOOD WALLS. UNLESS NOTED DIFFERENT. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ROUGH

OPENINGS AND SIZES OF ALL DOORS AND WINDOWS

BEFORE STARTING CONSTRUCTION.

NOTE: ATTACH 6X6 PT. POST BOTTOM TO CONCRETE WITH ABU-66 OR ALTERNATE ABM66 AND AT TOP TO BEARING BEAMS WITH CC COLUMN CAP OR ALTERNATE ST6224 STRAP TYPICAL.

=(2) 2 X 12 SYP WITH 1/2" PLYWOOD FLITCH PLATES.GLUED AND NAILED

=(2) 1 3/4" × 11 7/8" LVL BEAMS

NOTED FLOOR PLAN

36" HIGH DEC VINYL RAILING NON GUARDRAIL

OPENING WILL RESIST 4" SPHERE. ATTACH PER MANUFACTURES SPECIFICATIONS.

(2) 1 3/4 X 11 7/8 MICROLAM W/ SIMPSON

ST6236 W/ (40) 16D NAILS AT WALL END.

3 WALLS STUDS BELOW EACH END

Al Quattrone, Professional Engineer, State of Florida, License No. 52741 This item has been digitally signed and sealed by Al Quattrone, PE, on 3/18/2024. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SSOCiates,

Quattrone Engineers, Planner

REVISIONS: 02-02-2022

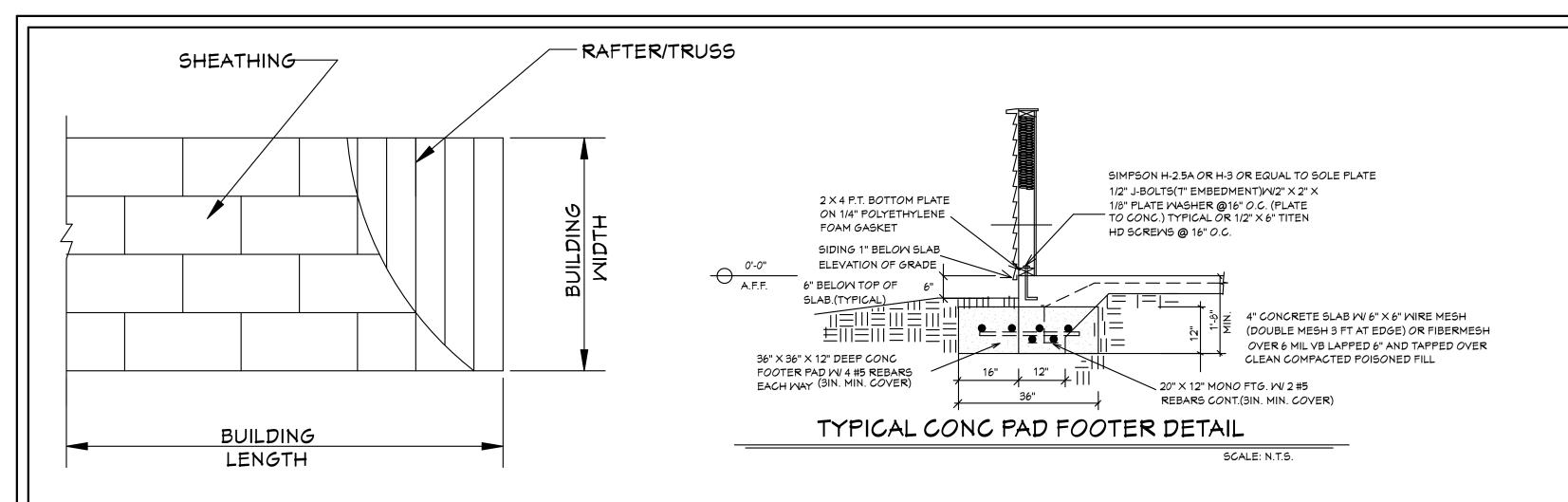
03-08-2024

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DRAWN BY DAVID HICKS

DATE: 03-29-2021 SCALE: 1/4"=1'0"

JOB # 2024-047



ROOF SHEATHING LAYOUT FOR HIP ROOFS °N.T.S.

"NOTE:ALL BRANCH CIRCUITS THAT SUPPLY 125-250 YOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE INSTALLED IN ALL ROOMS (INCLUDING BEDROOMS) EXCEPT THE BATHROOMS, UTILITY ROOM IN A DWELLING UNIT AND SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S). KITCHEN, BATHROOMS, UTILTY ROOM, AND WET AREA'S SHALL BE PROTECTED BY G.F.C.I. OUTLETS.

ELECTRICAL PLAN

ONE WINDOW IN EACH BEDROOM SHALL PROVIDE 5.7 SQ. FT. OF EGRESS AREA MINIMUM CLEAR OPENING 20" W. AND 24" H.

MINIMUM 29" CLEAR OPENING IS REQUIRED FOR ACCESS TO ONE TOILET ROOM PER FLORIDA HANDICAP ACCESSEBILITY REQUIREMENTS.

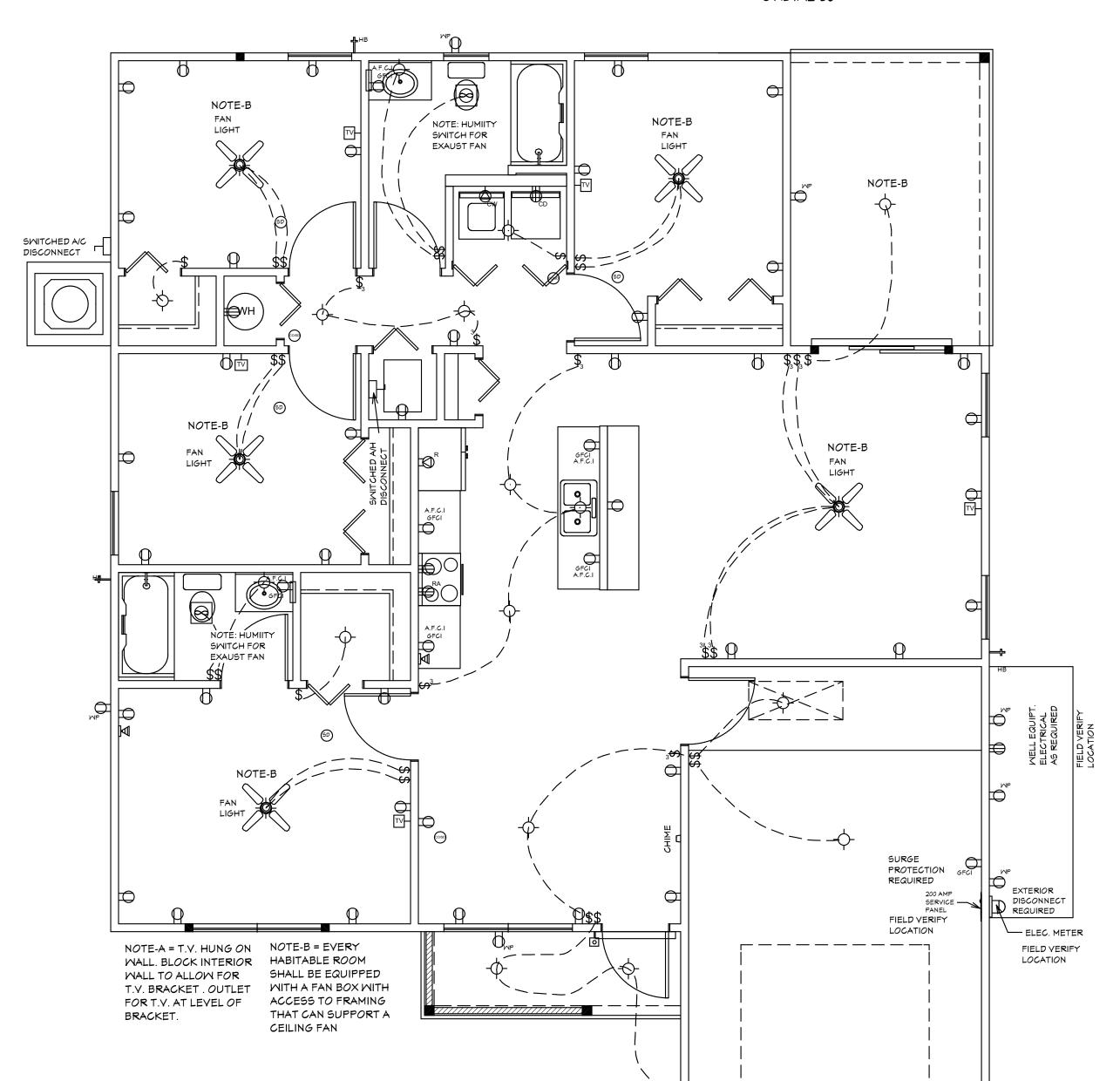
ALL SMOKE DETECTOR CARBON MONOXIDE ALARM COMBOS TO BE INTERCONNECTED 110 VOLTS A.C.

COMPLY WITH SECT. 410-8 NEC.

PROVIDE GFI PER NEC 210-8

WATER CONSERVATION FIXTURES REQUIRED ORD#92-36

LIGHTS IN CLOSETS TO

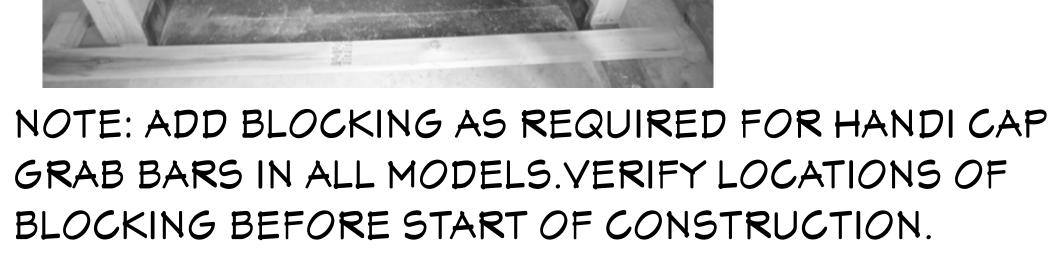


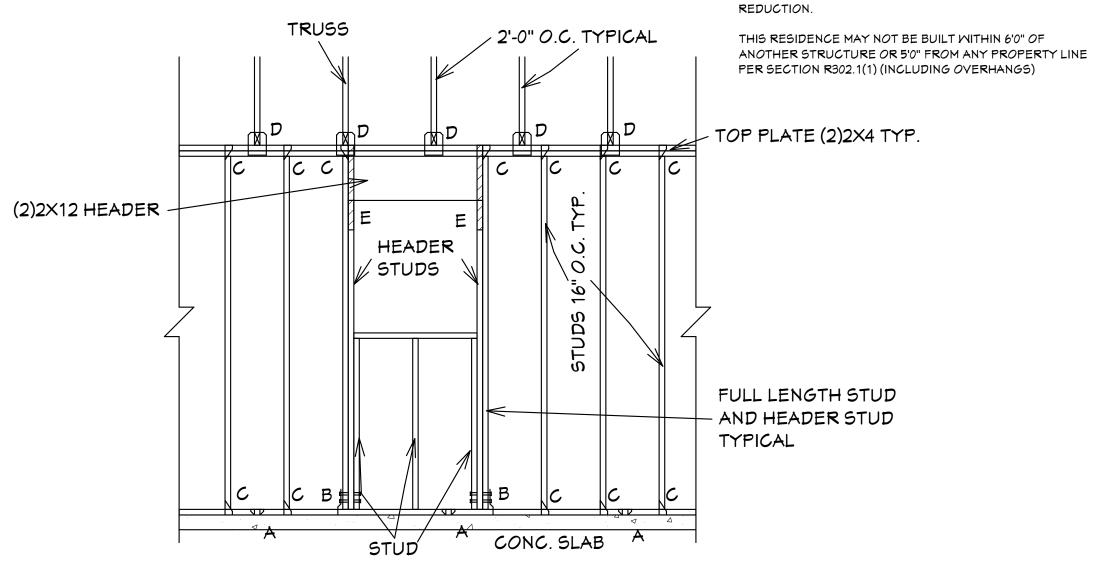


NOTE: ADD BLOCKING AS REQUIRED FOR HANDI CAP GRAB BARS IN ALL MODELS. VERIFY LOCATIONS OF

ELECTRICAL LEGEND DESCRIPTION SYMBOL Audio Video: Control Panel, Switch DENOTES WALL OUTLET TAMPER RESISTENT DENOTES GFCI WALL OUTLET DENOTES WATER PROOF WALL OUTLET DENOTES 220 YOLT WALL OUTLET DENOTES FLOOR OUTLET DENOTES COVERED FLOOR OUTLET DENOTES T.Y OUTLET DENOTES DOOR BELL DENOTES PHONE OUTLET DENOTES THEMOSTAT DENOTES 200 AMP SERVICE BOX DENOTES WALL SWITCH DENOTES 3 WAY SWITCH DENOTES 4 WAY SWITCH DENOTES 5 MAY SMITCH DENOTES DIMMER SWITCH DENOTES WATER PROOF SWITCH DENOTES CEILING OR WALL FIXTURE DENOTES FLOOD LIGHTS DENOTES RECESS FIXTURE DENOTES FLOR LIGHT DENOTES EXHAUST FAN DENOTES SMOKE DETECTOR DENOTES SMOKE DETECTOR CARBON MONOXIDE ALARM COMBO DENOTES JUNCTION BOX & COVER FOR FUTURE FAN DENOTES JUNCTION BOX W/COVER DENOTES ZENFLEX LOW **VOLTAGE LIGHTING SYSTEM** Wall Jacks: CAT5, CAT5 + TV, TV/Cable Speakers: Ceiling Mounted, Wall Mounted 240V Receptacle Mall Mounted Light Fixtures: Flush Mounted, Wall Sconce

Chandelier Light Fixture





- SIMPSON MAS CONNECTOR WITH (6) 10d X 1 1/2" NAILS @ 2'-0" O.C. (PLATE TO SLAB) OR 1/2" J-BOLT (7" MINIMUM EMBEDMENT) AND 2" \times 2' \times \times 1/8" PLATE WASHER @ 16" O.C. OR 1/2" X 6" TITEN HD SCREWS @ 16" O.C.
- "B" SIMPSON HD-3B SHEARMALL HOLDOWN W/(2) 5/8" DIA, BOLTS PER STUD AND (1) 5/8" X 6" LONG EXPANSION BOLT
- "C" SIMPSON H-2.5A OR H-3 OR EQUAL (STUD TO PLATE)
- "D" SIMPSON H10A WITH (18) 10d X 1 1/2" NAILS OR EQUAL (TRUSS TO PLATE)
- "E" SIMPSON LSTA-18 WITH (14) 10d NAILS

FRAMING DETAIL (TYP.)

ALL EXTERIOR WALLS ARE SHEARWALLS PER FRAMING DETAIL SHEET 5 OF 7 & EXTERIOR WALL NAILING DETAIL ON SHEET 4 OF 7. SHEAR WALL SECTIONS ARE SHOWN ON SHT 1 OF 7

GENERAL NOTES

PRECEDENCE OVER SCALED

PRIOR TO CONSTRUCTION.

REGULATIONS, AND RULES. NOTE: MASTER PLANS

FEMA/FLOOD ZONES CONSTRUCTION

2. MASONRY CONTRACTOR TO VERIFY

MASONRY OPENING DIMENSIONS FOR ALL

MINDOMS, SLIDING GLASS DOORS, & ENTRY

3.IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK

OMISSIONS PRIOR TO CONSTRUCTION IF ANY ERRORS OR

SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECIEPT OF PLANS, AND PRIOR TO ANY CONSTRUCTION, OR

CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE

RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME.

4.HICKS DRAFTING & DESIGN DOES NOT ASSUME

FLORIDA RESIDENTIAL BUILDING CODE. CHAPTER 3

AND SECTION 1609 OF THE (8TH EDITION) OF THE

LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE

STATE, COUNTY, AND LOCAL STATUES, ORDINANCES,

NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB,

INCLUDING GARAGE OR BASEMENT AND A/C W/H AND ALL

EQUIPTMENT, ELEVATED TO FINISH FLOOR ELEV. OR

ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS

SHALL APPLY TO HOUSES OR MANUFACTURED HOMES

SITES IN A NEW MANUFACTURED HOME PARK OR

THAT ARE TO BE PLACED OR SUBSTANIALLY IMPROVED ON

SUBDIVISION.LCD CHAPTER 6 ,ARTICLE IV FLOOD HAZARD

2023 FLORIDA BUILDING CODE. TOGETHER WITH

ANY RESPONSIBILITY FOR SUPERVISION OF

CONSTRUCTION. CONTRACTOR TO ADHERE

STRICTLY TO THE (8TH EDITION) OF THE 2023

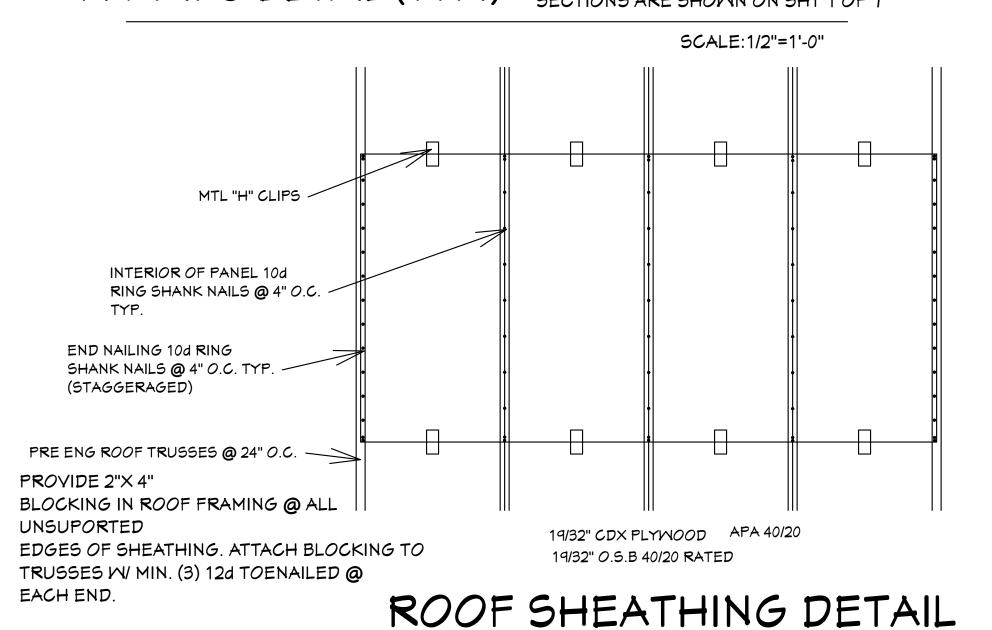
THESE PLANS FOR DIMENSIONAL ERRORS, AND/OR

DOORS, AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER

OMISSIONS EXIST IN THE DRAWINGS OR

DIMENSIONS.

I. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. DIMENSIONS TAKE



Al Quattrone, Professional Engineer, State of Florida, License No. 52741 This item has been digitally signed and sealed by Al Quattrone, PE, on 3/18/2024. Printed copies of this document are not

considered signed and sealed and the signature must be verified on any electronic copies.

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REVISIONS: 02-02-2022

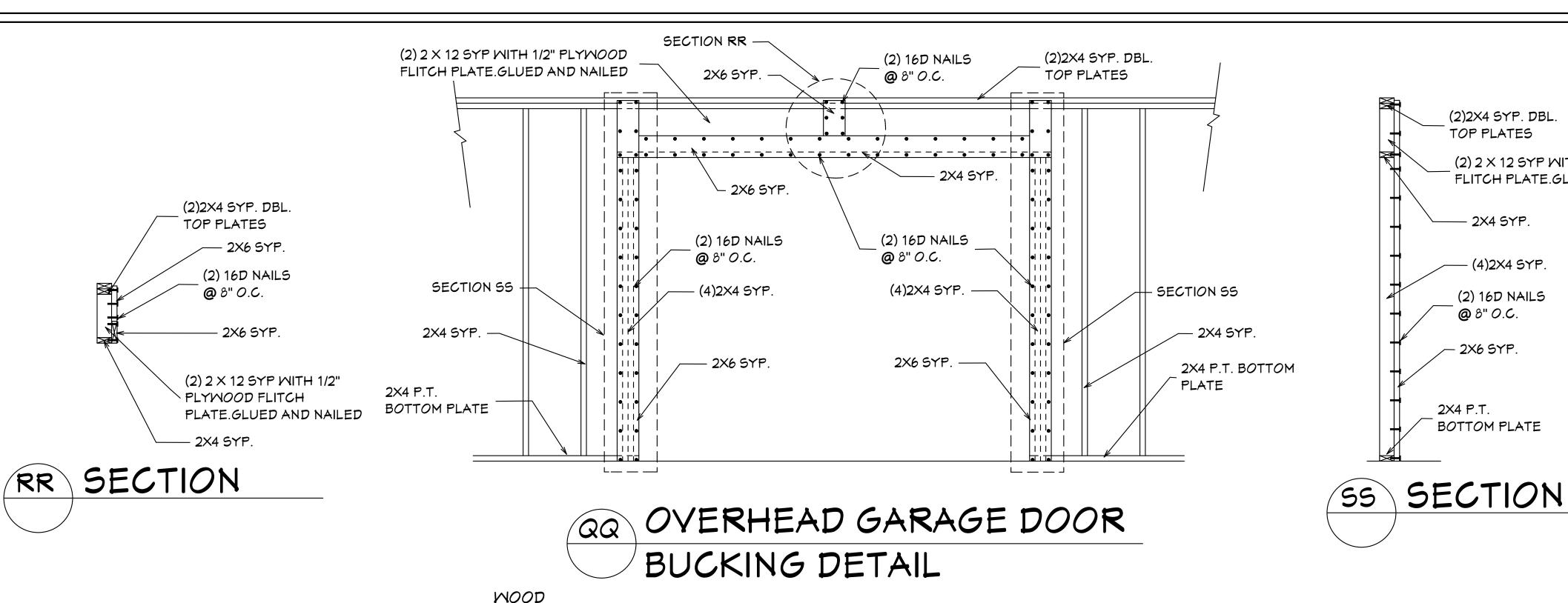
03-08-2024

DRAWN BY DAVID HICKS

DATE: 03-29-2021

SCALE:1/4"=1'0" JOB # 2024-047

SHEET



GENERAL

- This building/structure has been designed in accordance with the (8TH EDITION) OF THE 2023 Residential Edition of the Florida Building Code. CHAPTER 3 AND SECTION 1609 OF THE 8TH EDITION OF THE 2023 FLORIDA BUILDING CODE for design pressures generated by 3 second gust. design wind velocity of 160 mph, structual calculations, as necessary to confirm compliance with the 8th edition of the 2023 Residential Edition of the Florida Building Code, have been performed.
- 2. David Hicks, and HICKS DRAFTING & DESIGN have not been retained to provide, nor is responsible for, the field supervision, inspection, or construction administration of this project. The owner, or general contractor is responsible for: field supervision, construction administration, review and approval of all shop drawings, verification on-site of all dimensions and elevations, and strict compliance with these construction documents as approved by Lee County drawn by David HIcks, and reviewed by ENGINEER OF RECORD
- 3. Exterior glazing shall be impact resistant or protected with an impact resistant covering meeting the requirements of SSTD 12, ASTM 1886 and ASTM E 1996, or Mlami-Dade PA201, 202, and 203, meeting the requirements of the Large Missle Test.
- 4. All windows, doors and other such systems, components and cladding shall be designed in accordance with CHAPTER 3 of the 8TH EDITION OF THE 2023 RESIDENTIAL Edition AND SECTION 1609 of the 8TH EDITION OF THE 2023 Florida Code for design pressures generated by a three second gust design wind velocity of 160 mph. see "Design Parameters" for specific pressures.
- 5. Contractor shall notify the owner in writing prior to construction of any discrepancy between plans and on-site dimensions and elevations.

FASTENERS AND CONNECTORS

- 1. Connectors, anchors, and other fastening devices
- shall be installed in accordance with the manufacturer's recommendations. 2. Where fasteners are not otherwise indicated, fasteners shall be provided in
- accordance with the 8th edition of the 2023 RESIDENTIAL Edition of the Florida Building Code 3. Nails, screws, or bolts shall be able to resist the forces specified in the 8th edition of the
- 2023 residential Florida Buildina Code, chapter 3
- 4. Metal plates, connectors, screws, bolts and nails exposed directly to the weather or subject to salt corrosion in coastal areas shall be stainless steel, or hot dipped galvanized, after the fastener or connector is fabricated, to form a zinc coating not less than 1 oz per sq ft. or hot dipped galvanized coated with a minimum of 1.8 oz per sq ft of steel meeting the requirements of ASTM A 90 Triple Spot Test.
- 5. Unless otherwise stated, sizes given for nails are common wire nails. For example, $\delta d = 2$ 1/2 inches long x 0.131 inch diameter. See Table 12.3B, columns 2, 3, and 4 in the National Design Specifications for Wood Construction.

FOOTINGS AND FOUNDATIONS

GENERAL

- 1. All exterior walls, bearing walls, and columns, shall be supported on continuous concrete footings, to support safely the loads imposed as determined from the character of the soil.
- 2. Refer to standard details for typical foundation details.
- 3. Concrete shall have a minimum specified compressive strength of 3000 psi at 28 days. 4. Reinforcing Steel shall be minimum Grade 40 and identified in accordance with ASTM A 615, A 616, A 617, or A 706.
- Minimum concrete cover over reinforcing bars shall be 3 inches. In narrow footings where there is insufficient concrete cover to accommodate a standard 90 degree hook, the hook shall be rotated in the horizontal direction until the required concrete cover is achieved.
- 6. All concrete is to be mixed, transported, and placed in accordance with the latest ACI Specifications and Recommendations. 7. Foundations have been designed for an allowable soil bearing pressure of 2,000 PSF,
- 8. Provide granular fill, clay materials are unacceptable. Existing Soil under footing and slabs shall be compacted to 95% of AASHTO T-99.
- 9. Fill shall be placed and compacted in one foot lifts.

CONCRETE FLOORS

- 1. Concrete floors shall be cast in place.
- 2. Concrete shall have a minimum compressive strength of not less than 3,000 psi at 28 days. 3. The top of a monolithic slab-on-grade shall be at least 8 inches above finished grade. 4. The slab shall be 4 inches thick.
- 5. The slab shall have 6x6 W2.9 x W2.9 welded wire fabric at mid-height
- 6. A double layer of welded wire fabric shall be provided around the perimeter of the slab
- of a distance of 3 ft. from the edge. See Standard Details. 7. Welded wire fabric shall conform to ASTM A-185 and free of oil and rust. It shall be installed in lengths as long as possible lapped a minimum of six inches.

GENERAL

- 1. All wood construction shall comply with the latest NFPA and AITC Specifications and Recommendations.
- 2. Lumber standard shall be American Softwood Lumber Standard PS 20-70, S4S, 19% moisture or as required by structural design.
- 3. Structural lumber (headers, columns, exterior wall studs) to be Southern Pine No.
- 2 KD 15 with a Fb=1,300 PSI E=1,600,000 PSI, and Fv = 95 PSI. 4. Glue laminated timber shall conform with ASTM D-3737 and AITC 117. Roof beams
- shall be designated 24F-V1 or 24F-E1. 5. Plywood for sheathing shall be APA rated sheathing as per plans and shall bear the APA
- 6. Wood in contact with concrete, masonry and/or exposed to weather shall be protected or pressure treated in accordance with AITC-109.

EXTERIOR WALL FRAMING

- 1. Studs shall be placed with the wide face perpendicular to the wall.
- 2. Header Beams shall be provided and fixed in accordance with CHAPTER 6 of the
- 8th edition of the 2023 Residential Florida Building Code. The minimum number of header studs supporting each end of a header beam shall be 1.
- . The minimum number of full-lenath wall studs at each end of a header beam shall be 1 for openings of 6 feet or less, and 2 for all other openings.
- 5. Uplift connectors shall be provided at the top and bottom of cripple studs, of header studs, and at least one wall stud at each side of opening.

CONNECTIONS FOR EXTERIOR WALL FRAMING

- 1. Framing members in exterior wall systems shall be fastened together in accordance with the 8th edition of the 2023 RESIDENTIAL Edition of the Florida Building Code.
- 2. Uplift connectors shall be provided to resist the uplift loads.
- 3. Uplift load resistance shall be continuous from roof to foundation.
- 4. Studs shall be connected to plates and plates to floor framing with connectors designed, rated, and approved for each individual location and condition.

EXTERIOR MALLS

- 1. Exterior wall segments shall not contain openings which when added together will exceed 144 sq in (1 sq ft) in any individual segment.
- 2. Minimum length of a shearwall segment shall be 2'-5".
- 3. Studs shall be doubled at each end of each shearwall segment.
- 4. Joints shall be lap-spliced. Within the center third of a wall length, the minimum lap shall be 4 feet. Lap splices shall be connected with 14 16d common nails.

WALL SHEATHING

1. Panels shall be 15/32" exposure 1 C-D sheathing grade plywood OR 7/16" OSB 24/16 RATED and shall be installed as follows. Panels shall be installed with face grain parallel to studs. All horizontal joints shall occur over framing and shall be attached per Standard

Flatwise blocking shall be used at all horizontal panel joints. Panels shall be attached to bottom plates and top member of the double top plate. Lowest plates shall be attached to foundation with bolts or connectors of sufficient capacity to resist the uplift forces developed in the plywood sheathed walls.

Panel attachment to framing shall be as illustrated in the Detail Sheets. Where windows and doors interrupt plywood sheathing, framing anchors or connectors shall be used to resist the appropriate uplift loads.

ANCHOR DOWN CONNECTORS

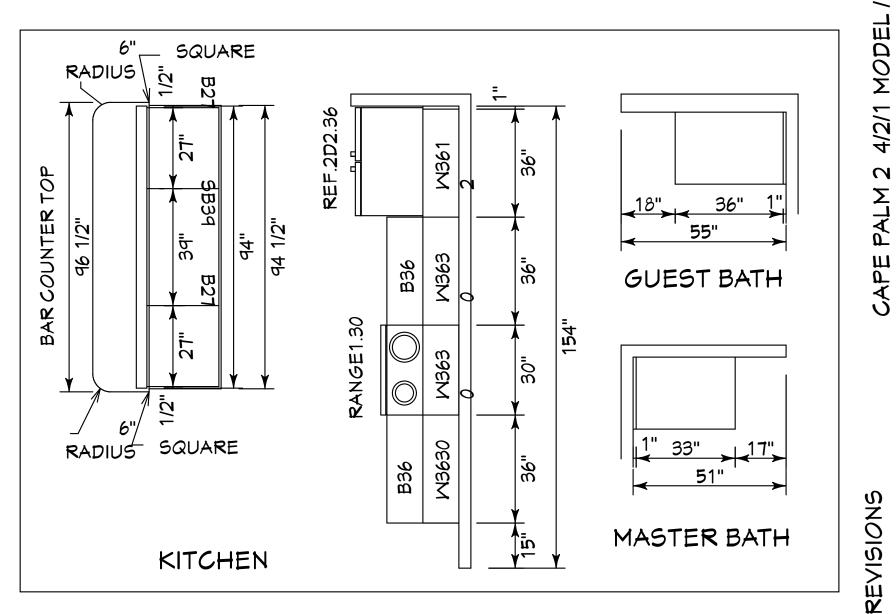
- 1. Exterior walls require anchor downs to resist overturning moment.
- 2. Two studs and anchor down are required at each end of each shearwall segment. 3. The anchor down shall be fastened through the doubled studs and to the construction below
- in accordance with the manufacturer's recommendations.

ROOF SHEATHING

- 1. Roof sheathing shall be 19/32 inch Exposure 1 C-D sheathing grade plywood OR 19/32" OSB 40/20 RATED (wood structural panels) or equivalent.
- 2. The sheathing shall be installed in accordance with Detail Sheets.
- 3. Long dimension shall be perpendicular to framing and end joints shall be staggered.

I AL QUATTRONE HAVE REVIEWED TRUSS LAYOUT AND THE TRUSS CONNECTOR SCHEDULE BASED ON TRUSS LAYOUT BY RAYMOND BUILDING SUPPLY / RBS # 18073014M1 / DATED: 01-31-2024 / REVISED UPDATED TO NEW 2023 CODE

| EXCEEDING #1000 | TRUSS IDENTIFICATION | | MINDLOAI | D CONNECTORS |
|-------------------------|-------------------------|------------------------|---------------------------------|--|
| | | | | |
| | NO UF | LIFTS O | VER #1000 | |
| | NO RE | ACTIONS | OVER #5000 | |
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| ALL OTHER T | RUSSES: | • | | |
| MOOD FRA | ME | 1000 | H-10 | (16)-8D × 1-1/2 |
| MASONF | RY | | | |
| BY RAYMON TRUSS DESI | D BUILDIN GNATION | IG SUPPLY S CORRESI | FT MYERS, FL. POND WITH RAYN | HICH WAS PREPARED MOND DOCUMENT. TRONG TIE OR EQUAL. |
| 3. ALL LOAD | S IN POUI | NDS. | | |
| 4. LOADS NO | OT SHOWI | N: LESS THA | AN 5K GRAVITY A | ND 1K UPLIFT. |
| TRUS | 55 FA | STEN | ER REQU | IREMENTS |
| | | | | |



CABINET DRAWINGS SCALE:3/8"=1'0"

GENERAL NOTES 1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

(2)2X4 SYP. DBL.

(2) 2 X 12 SYP WITH 1/2" PLYWOOD

FLITCH PLATE.GLUED AND NAILED

TOP PLATES

- 2X4 SYP.

– (4)2X4 SYP.

(2) 16D NAILS

@ 8" O.C.

- 2X6 SYP.

BOTTOM PLATE

2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS, AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.

THESE PLANS FOR DIMENSIONAL ERRORS, AND/OR OMISSIONS PRIOR TO CONSTRUCTION.IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECIEPT OF PLANS, AND PRIOR TO ANY CONSTRUCTION, OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME. 4.HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE. CHAPTER 3 AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE. TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE STATE, COUNTY, AND LOCAL STATUES, ORDINANCES, REGULATIONS, AND RULES.

NOTE: MASTER PLANS FEMA/FLOOD ZONES CONSTRUCTION NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND A/C W/H AND ALL EQUIPTMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR

Al Quattrone, Professional Engineer, State of Florida, License No. 52741 This item has been digitally signed and sealed by Al Quattrone, PE, on 3/18/2024. Printed copies of this document are not onsidered signed and sealed and the signatur nust be verified on any electronic copies.

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3.IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK

THIS RESIDENCE MAY NOT BE BUILT WITHIN 6'0" OF ANOTHER STRUCTURE OR 5'0" FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

SUBDIVISION.LCD CHAPTER 6 ,ARTICLE IV FLOOD HAZARD

REDUCTION.

REVISIONS: 02-02-2022 03-08-2024

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DRAWN BY DAVID HICKS

DATE: 03-29-2021

SCALE:1/4"=1'0"

JOB # 2024-047

SHEET

DECK BOARDS & STAIR TREADS REQUIRED TO HAVE LABEL R507

ONE LAYER OF WATER RESISTIVE BARRIER BEHIND EXTERIOR SIDING WALL COVERING R703.2

TWO LAYERS OF WATER RESISTIVE BARRIER BEHIND EXTERIOR WALLS WITH WIRE LATH & CEMENTITIOUS FINISH COVERING R703.7.3

PAN FLASHING UNDER WINDOWS AND DOORS ON FRAME CONSTRUCTION. REFER TO NOTES R703.4 ON SHEET 7 OF 7

WINDOWS MUST HAVE COMPLIANT SHGC VALUES. REFER TO EXTERIOR OPENING CHART AND ATTACHED ENERGY CALCULATIONS AND WINDOW AND DOOR SPEC SHEETS FROM MANUFACTURES.

WATER HEATERS AND STORAGE TANKS SHALL BE EQUIPT WITH PRESSURE RELEASE AND TEMPERATURE VALVES OR A COMBINATION THEREOF 504 WATER TANK SAFETY DEVISES

THE MAXIMUN DISTANCE BETWEEN A HOT WATER SUPPLY SOURSE AND ALL FIXTURES SERVED BY THE SUPPLY SOURSE HAS BEN REDUCED FROM 100 FT TO 50 FT. HOT OR TEMPERED WATER SUPPLY TO FIXTURES

SECTIONR806 **ROOF VENTILATION**

R806.1 Ventilation required.

Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilation openings shall have a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Ventilation openings having a least dimension larger than 1/4 inch (6.4 mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth, perforated vinyl or similar material with openings having a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Openings in roof framing members shall conform to the requirements of Section R802.7. Required ventilation openings shall open directly to the outside air and shall be protected to prevent the entry of birds, rodents, snakes and other similar creatures.

R806.2Minimum vent area. The minimum net free ventilating area shall be 1/150 of the area of the vented space.

Exception: The minimum net free ventilation area shall be 1/300 of the vented space, provided that not less than 40 percent and not more than 50 percent of the required ventilating area is provided by ventilators located in the upper portion of the attic or rafter space. Upper ventilators shall be located not more than 3 feet (914 mm) below the ridge or highest point of the space, measured vertically. The balance of the required ventilation provided shall be located in the bottom one-third of the attic space. Where the location of wall or roof framing members conflicts with the installation of upper ventilators, installation more than 3 feet (914 mm) below the ridge or highest point of the space shall be permitted.

R806.3 Vent and insulation clearance.

Where eave or cornice vents are installed, blocking, bridging and insulation shall not block the free flow of air. Not less than a 1-inch (25 mm) space shall be provided between the insulation and the roof sheathing and at the location of the vent.

R806.4Installation and weather protection.

Ventilators shall be installed in accordance with manufacturer's instructions. Installation of ventilators in roof systems shall be in accordance with the requirements of Section R903. Installation of ventilators in wall systems shall be in accordance with the requirements of Section R703.1

R806.5Unvented attic and unvented enclosed rafter assemblies.

Unvented attics and unvented enclosed roof framing assemblies created by ceilings that are applied directly to the underside of the roof framing members and structural roof sheathing applied directly to the top of the roof framing members/rafters, shall be permitted where all the following conditions are met:

1. The unvented attic space is completely within the building thermal envelope.

2. No interior Class I vapor retarders are installed on the ceiling side (attic floor) of the unvented attic assembly or on the ceiling side of the unvented enclosed roof framing assembly.

3. Where wood shingles or shakes are used, a minimum 1/4-inch (6.4 mm) vented airspace separates the shingles or shakes and the roofing underlayment above the structural sheathing 4.In Climate Zones 5, 6, 7 and 8, any air-impermeable insulation shall be a Class II vapor retarder, or shall have a

Class II vapor retarder coating or covering in direct contact with the underside of the insulation. 5.Insulation shall comply with Item 5.3 and Item 5.1. As an alternative, where air-permeable insulation is located on

top of the attic floor or on top of the attic ceiling, insulation shall comply with Item 5.3 and Item 5.2. 5.1.Item 5.1.1, 5.1.2, 5.1.3 or 5.1.4 shall be met, depending on the air permeability of the insulation directly under the structural roof sheathing.

5.1.1. Where only air-impermeable insulation is provided, it shall be applied in direct contact with the underside of the structural roof sheathina.

5.1.2. Where air-permeable insulation is provided inside the building thermal envelope, it shall be installed in accordance with Section 5.1.1. In addition to the air-permeable insulation installed directly below the structural sheathing, rigid board or sheet insulation shall be installed directly above the structural roof sheathing in accordance with the R-values in Table R806.5 for condensation control.

5.1.3. Where both air-impermeable and air-permeable insulation are provided, the air-impermeable insulation shall be applied in direct contact with the underside of the structural roof sheathing in accordance with Item 5.1.1 and shall be in accordance with the R-values in Table R806.5 for condensation control. The air-permeable insulation shall be installed directly under the air-impermeable insulation 5.1.4.Alternatively, sufficient rigid board or sheet insulation shall be installed directly above the structural roof

sheathing to maintain the monthly average temperature of the underside of the structural roof sheathing above 45°F (7°C). For calculation purposes, an interior air temperature of 68°F (20°C) is assumed and the exterior air temperature is assumed to be the monthly average outside air temperature of the three coldest months. 5.2.In Climate Zones 1, 2 and 3, air-permeable insulation installed in unvented attics on the top of the attic floor or

on top of the ceiling shall meet the following requirements: 5.2.1.An approved vapor diffusion port shall be installed not more than 12 inches (305 mm) from the highest point

of the roof, measured vertically from the highest point of the roof to the lower edge of the port.

5.2.2. The port area shall be greater than or equal to 1:600 of the ceiling area. Where there are multiple ports in the attic, the sum of the port areas shall be greater than or equal to the area requirement. 5.2.3. The vapor-permeable membrane in the vapor diffusion port shall have a vapor permeance rating of greater

than or equal to 20 perms when tested in accordance with Procedure A of ASTM E96. 5.2.4. The vapor diffusion port shall serve as an air barrier between the attic and the exterior of the building. 5.2.5. The vapor diffusion port shall protect the attic against the entrance of rain and snow.

5.3. Where preformed insulation board is used as the air-impermeable insulation lauer, it shall be sealed at the perimeter of each individual sheet interior surface to form a continuous layer.

THE ROOF VENTILATION MUST MEET ALL REQUIREMENTS OF SECTION R806 ROOF VENTILATION SHOWN ABOVE. R806.2 MINIMUM AREA CALCULATIONS:

THE TOTAL NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED. 1931 SQ FT TOTAL ATTIC AREA TO BE VENTILATED 1931 SQ FT DIVIDED BY 300 SQ FT = 6.43 SQ FT TOTAL VENTILATION REQUIRED.

925.92 SQ IN. DIVIDED INTO=555.55 IN. AT SOFFITS AND 370.36 IN. AT RIDGE VENTS OR OFF RIDGE VENTS SEPERATE OR (COBRA RIDGE VENT 3 FL#6267 R17) PROVIDES 18 SQ IN. PER LINEAL FT OF NET FREE VENTALATING AREA

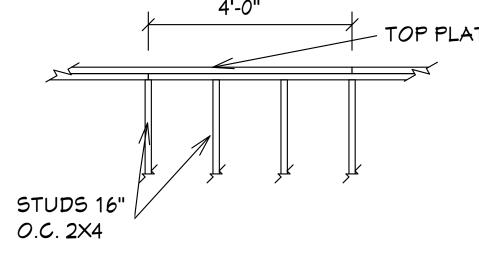
(TAMCO 4'0" ROUND OFF RIDGE VENT FL#-16918-R3 PROVIDES 138 SQ IN. PER OFF RIDGE VENT. 370.36 SQ IN. TOTAL UPPER ROOF VENTILATION /414.00 SQ IN SUPPLIED IN UPPER ROOF

TAMCO 4'0" ROUND OFF RIDGE VENT 138 SQ IN PER VENT = 3 REQUIRED =414.00 SQ IN

TOTAL OF VENTED SOFFIT REQUIRED = 555.55 SQ IN. 769.12 SQ IN VENTED SOFFIT SUPPLIED MEETS THE REQUIREMENTS. FL # 16503.2 KAYCAN LTD VINYL SOFFIT 12" TRIPPLE 4 FULL O VENT ECO (NO. 0639) 4.18 SQ IN NET FREE AREA PER LINEAL FT

CONVERT TO SQ IN:6.43 SQ FT X 144 = 925.92 SQ IN.

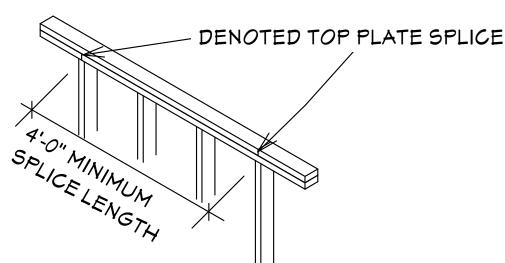
TOP PLATE SPLICES SHALL BE LAPPED A MINIMUM OF 4FT. LAP SPLICES SHALL BE CONNECTED WITH 14 EACH 16d NAILS MINIMUM



TOP PLATE SPLICE DETAIL

NTS

NOTE: SPLICE TO OCCUR OVER STUD IN ALL CASES TOP PLATE SPLICE



NOTE: MASTER PLANS FEMA/FLOOD ZONES CONSTRUCTION NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND A/C W/H AND ALL EQUIPTMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION.LCD CHAPTER 6 ,ARTICLE IV FLOOD HAZARD REDUCTION.

STATE, COUNTY, AND LOCAL STATUES, ORDINANCES,

REGULATIONS, AND RULES.

THIS RESIDENCE MAY NOT BE BUILT WITHIN 6'0" OF ANOTHER STRUCTURE OR 5'0" FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

NAIL FIRST STUDS TO CORNER STUDS WITH 2 ROWS 16D NAILS @12" O.C. NAIL CORNER STUDS WITH ONE (1) ROW OF 16D NAILS AT 8" O.C. SIMPSON HD3B (2) 5/8' DIA. BOLTS AT STUDS & (1) 5/8" × 6" LONG EXPANSION BOLT AT 2X4 STUDS < START FIRST WALL STUD AS SHOWN EXTERIOR FRAME BEARING OR NON-BEARING WALL

FRAME WALLS INTERSECTION DETAIL

R703.4 Flashing.

2X4 P.T. BOTTOM

4" SLAB

12"

SCALE:1"=1'0'

WALL DETAIL

HORIZ. VINYL SIDING OVER 1/2" DOM

RESIDENTIAL FOAM SHEATHING INSULATION

OSB 24/16 RATED SHEATHING USE 8d NAILS

P.T. BOTTOM PLATE

SIDING 1" BELOW SLAB .

ELEVATION OF GRADE

SECTION

8" BELOW TOP OF

SLAB.(TYPICAL)

ON 15/32" PLYWOOD SHEATHING OR 7/16"

AT 4" O.C. ALONG TOP AND BOTTOM WALL

CHEMICAL STYROFOAM BRAND R-3

PLATE

REINFORCEMENT: 6 X 6

M2.9X2.9 MMF OR

FIBERMESH

Approved metal flashing, vinyl flashing, self-adhered membranes and mechanically attached flexible flashing shall be applied shingle-fashion or in accordance with the manufacturer's instructions. Metal flashing shall be corrosion resistant. Fluid-applied membranes used as flashing shall be applied in accordance with the manufacturer's instructions. All flashing shall be applied in a manner to prevent the entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. All exterior fenestration products shall be sealed at the juncture with the building wall with a sealan complying with AAMA 800 or ASTM C920 Class 25 Grade NS or greater for proper joint expansion and contraction, ASTM C1281, AAMA 812, or other approved standard as appropriate for the type of sealant. Fluidapplied membranes used as flashing in exterior walls shall comply with AAMA 714. The flashing shall extend to the surface of the exterior wall finish. Approved flashings shall be installed at the following locations:

STUDS 2 X 4 @16" O.C. (SEE

- PLAN) W/ DRYWALL INTERIOR,

MOOD SHEATHING EXTERIOR

1/2" J-BOLTS (7" EMBEDMENT)

@16" O.C. (PLATE TO CONC

TYPICAL) OR 1/2" X 6" TITEN

HD SCREWS @ 16" O.C.

W/2" X 2" X 1/8" PLATE WASHER

VARIES

4 1/2"

2 X 4 SYP STUDS 16" O.C.

HD SCREWS @ 16" O.C.

VARIES 0" TO 4"

SIMPSON H-2.5A OR H-3 OR EQUAL TO SOLE PLATE

4" CONCRETE SLAB W/ 6" X 6" WIRE MESH

CLEAN COMPACTED POISONED FILL

20" X 12" MONO FTG. W/ 2 #5

REBARS CONT.(3IN. MIN. COVER)

(DOUBLE MESH 3 FT AT EDGE) OR FIBERMESH

OVER 6 MIL VB LAPPED 6" AND TAPPED OVER

1/2" J-BOLTS (7" EMBEDMENT) W/2" X 2"

X 1/8" PLATE WASHER @16" O.C. (PLATE

TO CONC.) TYPICAL OR 1/2" X 6" TITEN

1.Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface the exterior wall finish or to the water-resistive barrier complying with Section 703.2 for subsequent drainage. Mechanically attached flexible flashings shall comply with AAMA 712. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following:

1.1. The fenestration manufacturer's installation and flashing instructions, or for applications not addressed in the fenestration manufacturer's instructions, in accordance with the flashing or water-resistive barrier manufacturer's instructions. Where flashing instructions or details are not provided, pan flashing shall be installed at the sill of exterior window and door openings. Pan flashing shall be sealed or sloped in such a manner as to direct water to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage. Openings using page 1. flashing shall incorporate flashing or protection at the head and sides.

1.2.In accordance with the flashing design or method of a registered design professional.

1.3.In accordance with other approved methods.

1.4In accordance with FMA/AAMA 100, FMA/AAMA 200, FMA/MDMA 250, FMA/AAMA/MDMA 300 or FMA/ AAMA/MDMA 400, or FMA/AAMA/MDMA 2710.

2.At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.

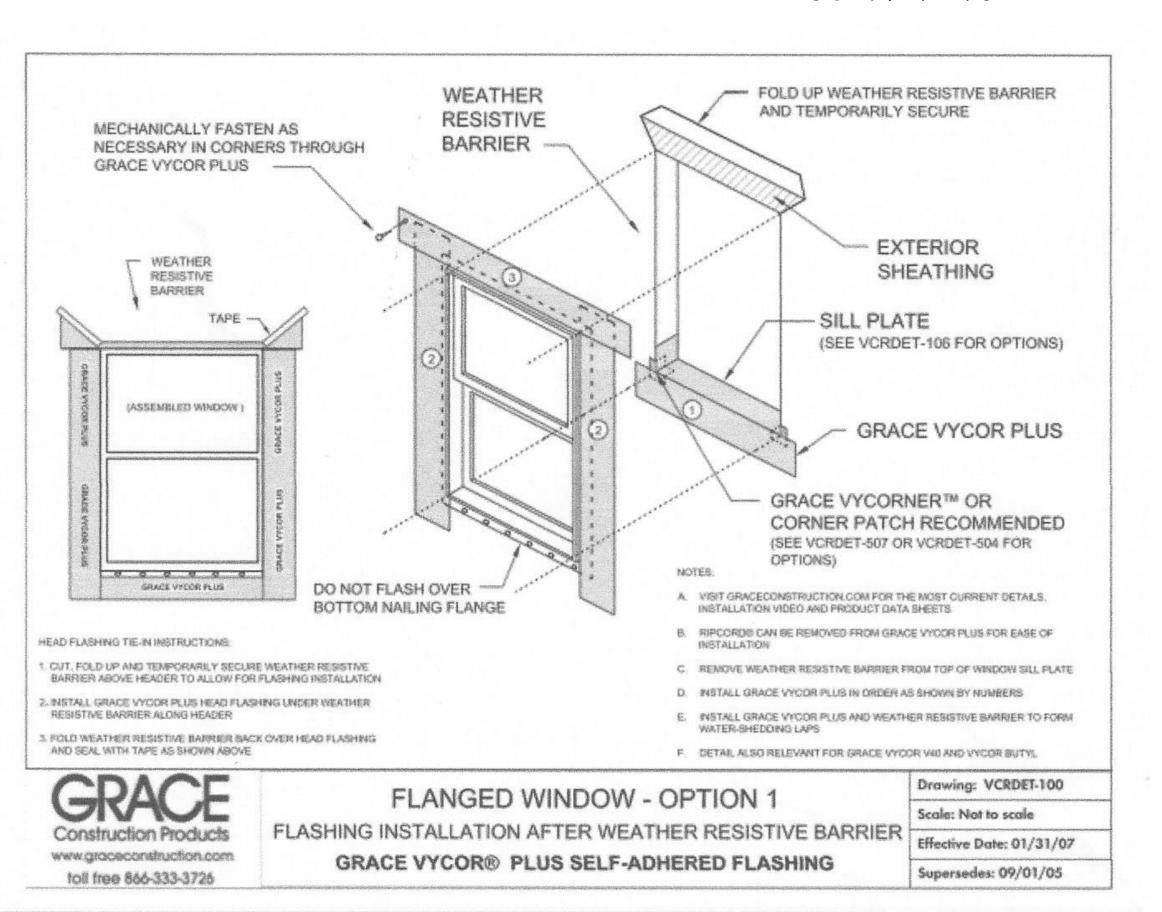
3. Under and at the ends of masonry, wood or metal copings and sills.

4. Continuously above all projecting wood trim.

5. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.

6.At wall and roof intersections.

7.At built-in gutters.



PAN FLASHING UNDER WINDOWS AND DOORS ON FRAME CONSTRUCTION COMPLY WITH AAMA-711 IF SELF ADHEARED MEMBRANES ARE USED AS FLASHING R703.4

GENERAL NOTES 1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.DIMENSIONS TAKE Al Quattrone, Professional Engineer, State of Florida, License No. 52741 This item has been digitally signed and sealed by Al Quattrone, PE, on 3/18/2024. PRECEDENCE OVER SCALED DIMENSIONS. Printed copies of this document are not 2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS. & ENTRY DOORS, AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION. S, 3.IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS, AND/OR sociat OMISSIONS PRIOR TO CONSTRUCTION IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN IN WRITING WITHIN 10 DAYS OF RECIEPT OF PLANS AND PRIOR TO ANY CONSTRUCTION OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME. 4.HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE. CHAPTER 3 uattrone gineers, Planne AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE. TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE

REVISIONS: 02-02-2022

03-08-2024

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DRAWN BY DAYID HICKS DATE: 03-29-2021

SCALE:1/4"=1'0"

JOB # 2024-047

SHEET

| | MALL# | LENGTH | EXTERIOR OR INTERIOR | N <i>O</i> TES |
|------|-------|-----------------|----------------------|--|
| | | 441444/01 | | 2 × 4 €× 5 ± 2 ΙΑΙΑΙ Ι |
| | (1) | 11'-11 1/2" | EXTERIOR EXTERIOR | 2 X 4 SYP #2 WALL |
| | (2) | 9'-10" | EXTERIOR | 2 X 4 SYP #2 WALL PLUMBING (WAS 2 X |
| | 4) | 10'-4" | EXTERIOR | |
| | (5) | 14'-0" 9'-2" | EXTERIOR | 2 X 4 SYP #2 WALL |
| | 6 | 14'-11 1/2" | EXTERIOR | 2 X 4 SYP #2 WALL 2 X 4 SYP #2 WALL |
| | 7 | 10'-6" | EXTERIOR | 2 X 4 SYP #2 WALL |
| | 8 | 10'-5 1/2" | EXTERIOR | 2 X 4 SYP #2 WALL |
| | 9 | 14'-4 1/2" | EXTERIOR | 2 X 4 SYP #2 WALL |
| | (10) | 8'-0" | EXTERIOR | 2 X 4 SYP #2 WALL |
| | (11) | 12'-7" | EXTERIOR | |
| | (12) | 14'-7 1/2" | EXTERIOR | 2 X 4 SYP #2 WALL 2 X 4 SYP #2 WALL |
| | (13) | 11'-4" | EXTERIOR | 2 X 4 SYP #2 WALL |
| | (14) | 5'-10" | EXTERIOR | 2 X 4 SYP #2 WALL |
| | (15) | 10'-2" | EXTERIOR | 2 X 4 SYP #2 WALL |
| | (16) | 14'-3 1/2" | EXTERIOR | 2 X 4 SYP #2 WALL |
| | | 17-5 1/2 | | 2/17 JII #21 V\LL |
| (17) | (50) | 11'-8" | INTERIOR | 2 X 4 SPF WALL |
| (19) | (51) | 3'-9" | INTERIOR | 2 X 4 SPF WALL |
| (20) | (52) | 10'-3 1/2" | INTERIOR | 2 X 4 SPF WALL |
| (21) | (53) | 4'-3-1/2" | INTERIOR | 2×4 SPF WALL |
| (22) | (54) | 5'-9 1/2" | INTERIOR | 2 X 6 SPF #2 PLUMBING |
| 23 | (55) | 2'-10" | INTERIOR | 2 X 4 SPF WALL (WAS 2 X |
| (24) | (56) | 3'- 5 " | INTERIOR | 2 X 4 SPF WALL |
| 25) | (57) | 3'- 5 " | INTERIOR | 2×4 SPF WALL |
| (26) | (58) | 11'-8" | INTERIOR | 2×4 SPF WALL |
| 28) | 59 | 5'-9" | INTERIOR | 2×4 SPF WALL |
| 29 | 60 | 3'-6 1/2" | INTERIOR | 2 X 4 SPF WALL |
| 30 | 61 | 3'-3" | INTERIOR | 2 X 4 SPF WALL |
| 31) | 62 | 5'-2" | INTERIOR | 2 X 4 SPF WALL |
| 32 | 63 | 10'-2" | INTERIOR | 2 X 4 SPF WALL |
| 33 | 64 | 8'-5" | INTERIOR | 2 X 4 SPF #2 PLUMBING (WAS 2 X |
| 34) | 65 | 5'-7 1/2" | INTERIOR | 2 X 4 SPF WALL |
| 35 | 66 | 12'-5 1/2" | INTERIOR | 2 X 4 SPF WALL |
| 36 | 67 | 5 '-3" | INTERIOR | 2 X 4 SPF WALL |
| 37 | 68 | 8'- 5 " | INTERIOR | 2×4 SPF MALL |
| 38 | 69 | 5'-7 1/2" | INTERIOR | 2 X 4 SPF WALL |
| 39 | 70 | 11'-4" | INTERIOR | 2 X 4 SPF WALL |
| 40 | 71 | 12'-8" | INTERIOR | 2 X 4 SYP #2 WALL |
| 41) | 72 | 14'-1" | INTERIOR | 2 X 4 SYP #2 WALL |
| 42 | 73 | 7'-10" | INTERIOR | 2×4 SPF #2 LOW PLUMBING (WAS 2×6 |
| 43 | 74 | 13'-8 1/2" | INTERIOR | 2 X 4 SPF WALL |
| 44 | 75 | 6'-5 1/2" | INTERIOR | 2 X 4 SPF WALL |
| 45 | 76 | 2'-1" | INTERIOR | 2 X 4 SPF WALL |
| 46 | 77 | 10'-4" | INTERIOR | 2 X 4 SPF WALL |
| | 78 | | | |
| | 79 | | | |
| | (80) | | | |

| CA | CAPE PALM 2 4/2/1-RHG MODEL LYL BEAM SCHEDULE | | | | | | |
|--------|---|--|--|--|--|--|--|
| BEAM # | LENGTH | BEAM TYPE | | | | | |
| А | 9'-10" | (2) PLY 1 3/4" X 11 7/8" LVL BEAM | | | | | |
| В | 14'-4" | (2) PLY 1 3/4" X 11 7/8" LVL BEAM | | | | | |
| С | 6'-9-1/2" | (2) PLY 1 3/4" X 11 7/8" LVL BEAM | | | | | |
| D | 6'-10-3/4" | (2) PLY 1 3/4" X 11 7/8" LVL BEAM | | | | | |
| CAPE | PALM 2 4/2/1-R | HG MODEL 2 X 12 SYP. BEAM SCHEDULE | | | | | |
| BEAM # | LENGTH | BEAM TYPE | | | | | |
| Е | 9'-8" | (2) 2 X 12 SYP. W 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED) | | | | | |
| F | 4'-0" | (2) 2 X 12 SYP. W 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED) | | | | | |
| G | 12'-7" | (2) 2 X 12 SYP. W 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED) | | | | | |
| Н | 6'-2" | (2) 2 X 12 SYP. W 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED) | | | | | |

