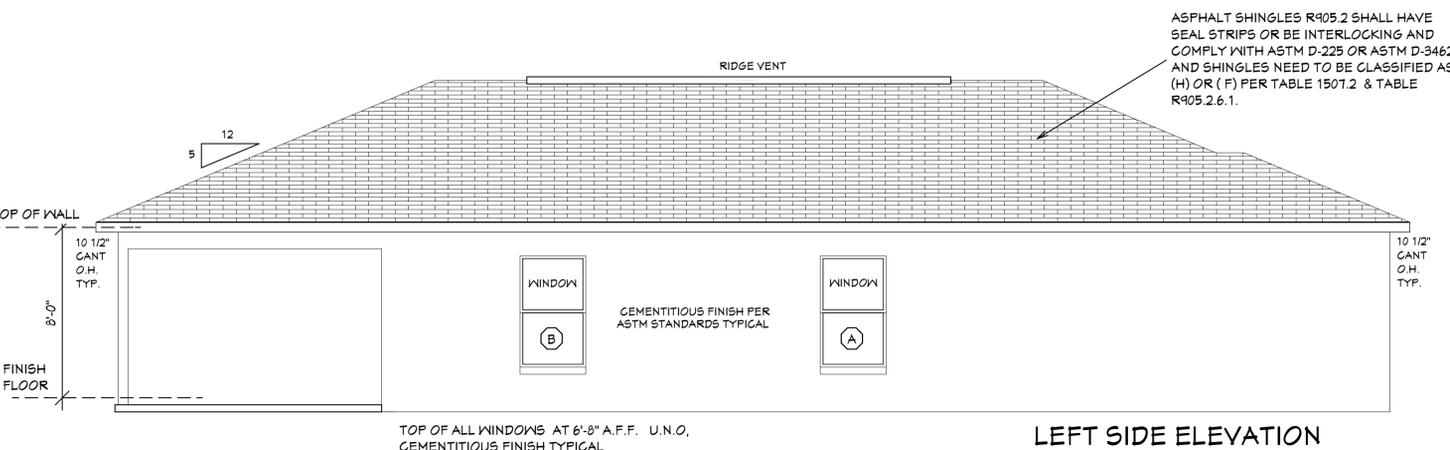


RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

DESIGN PARAMETERS:

APPLICABLE CODES:
 BUILDING CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023
 MECHANICAL CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, MECHANICAL 2023
 PLUMBING CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, PLUMBING 2023
 ELECTRICAL CODE = NEC 2020
 FLORIDA FIRE PREVENTION CODE = 8TH EDITION
 LIFE SAFETY CODE = NFPA 101 8TH EDITION

ACCESSIBILITY CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023
ENERGY CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023

METHOD OF DESIGN:
 DESIGNED PURSUANT TO (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023, CHAPTER 3 AND SECTION 1604 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE

BASIC WIND SPEED:
 110 MPH (ULTIMATE DESIGN) = 132.0 MPH (NOMINAL DESIGN)
 140 MPH (ULTIMATE DESIGN) = 124 MPH (NOMINAL DESIGN)
 150 MPH (ULTIMATE DESIGN) = 116 MPH (NOMINAL DESIGN)

IMPORTANCE FACTOR/COMPONENTS AND CLADDING:
 0.77 (RISK CATEGORY I)
 1.00 (RISK CATEGORY II)
 1.15 (RISK CATEGORY III)
 1.15 (RISK CATEGORY IV)

BUILDING OCCUPANCY CLASSIFICATION:
 GROUP A - ASSEMBLY
 GROUP B - BUSINESS
 GROUP D - DAY CARE CENTER
 GROUP E - EDUCATIONAL
 GROUP F - FACTORY INDUSTRIAL
 GROUP H - HAZARDOUS
 GROUP I - INSTITUTIONAL
 GROUP M - MERCANTILE
 GROUP R - RESIDENTIAL
 GROUP S - STORAGE

TORNADO BASIC WIND SPEED:
 RISK CATEGORY II = N/A
 110 MPH (NORMAL DESIGN F3-SECOND GUST)
 140 MPH (NORMAL DESIGN F3-SECOND GUST)
 150 MPH (NORMAL DESIGN F3-SECOND GUST)

RAIN FALL INFORMATION:
 N/A SLOPED ROOF GREATER THAN 2/12
 RAINFALL DATA FROM FBC PLUMBING 2023 FIGURE 1106.1 IN/H.R.
 ROOF AREA IN SF.

BUILDING CONSTRUCTION TYPE:
 TYPE I
 TYPE II
 TYPE III
 TYPE IV
 TYPE V

EXPOSURE CATEGORY:
 A
 B
 C
 D

WINDBORNE DEBRIS REGION:
 YES
 NO

INTERNAL PRESSURE COEFFICIENTS:
 0.00 (OPEN)
 +0.18, 0.18 (ENCLOSED)
 +0.55, -0.55 (PARTIALLY ENCLOSED)

CLASSIFICATION OF WORK:
 ALTERATION
 LEVEL 1
 LEVEL 2
 LEVEL 3
 NEW CONSTRUCTION
 CHANGE OF OCCUPANCY
 ADDITION / REMODEL
 HISTORIC BUILDING

DESIGN LOAD BEARING VALUE OF SOIL 2000 PSF

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

2. MASONRY CONTRACTOR TO VERIFY ALL MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS & ENTRY DOORS, AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.

3. IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS AND/OR OMISSIONS PRIOR TO CONSTRUCTION. IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN IN WRITING WITHIN 10 DAYS OF RECEIPT OF PLANS AND PRIOR TO ANY CONSTRUCTION OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME.

4. HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, CHAPTER 3, AND SECTION 1604 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE, TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE STATE, COUNTY, AND LOCAL STATUTES, ORDINANCES, REGULATIONS, AND RULES.

NOTE: MASTER PLANS FEMA FLOOD ZONES CONSTRUCTION
 NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND A/C UNIT AND ALL EQUIPMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANTIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION LCD CHAPTER 6 ARTICLE IV FLOOD HAZARD REDUCTION.

THIS RESIDENCE MAY NOT BE BUILT WITHIN 60" OF ANOTHER STRUCTURE OR 50" FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

BUILDING OVERHANG TO BE 5 FEET FROM PROPERTY LINE UNLESS RATED OR FIRE SPRINKLERED TABLE R302.1(1)

DECK BOARDS & STAIR TREADS REQUIRED TO HAVE LABEL R501

ONE LAYER OF WATER RESISTIVE BARRIER BEHIND EXTERIOR SIDING WALL COVERING R103.2

TWO LAYERS OF WATER RESISTIVE BARRIER BEHIND EXTERIOR WALLS WITH WIRE LATH & CEMENTITIOUS FINISH COVERING R103.2.3

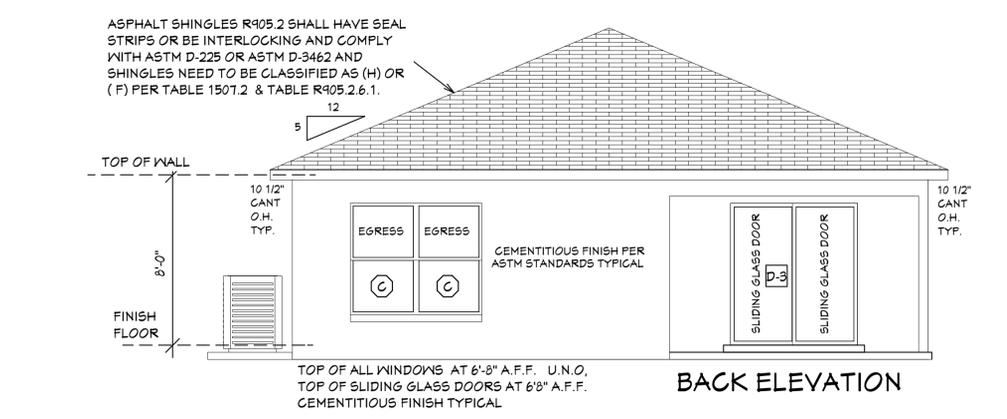
FAN FLASHING UNDER WINDOWS AND DOORS ON FRAME CONSTRUCTION. REFER TO NOTES R103.4 ON SHEET 3 OF 6

WINDOWS MUST HAVE COMPLIANT SHGC VALUES. REFER TO EXTERIOR OPENING CHART AND ATTACHED ENERGY CALCULATIONS AND WINDOW AND DOOR SPEC SHEETS FROM MANUFACTURERS.

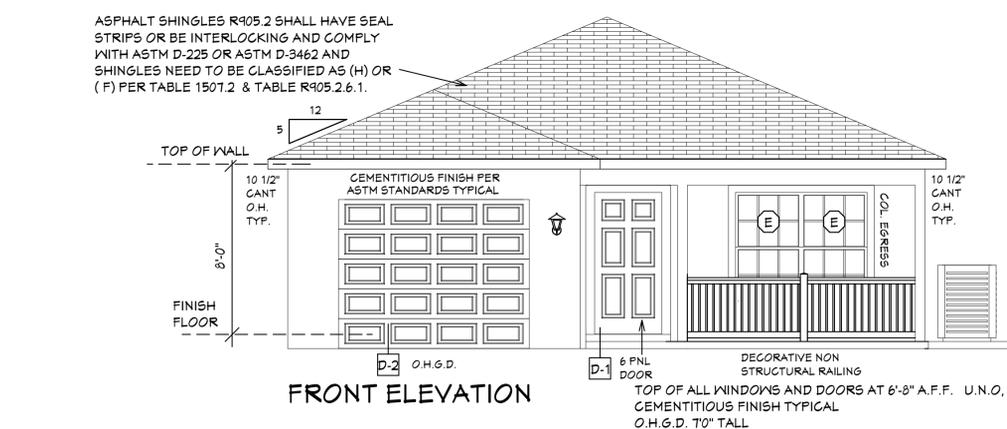
WATER HEATERS AND STORAGE TANKS SHALL BE EQUIPT WITH PRESSURE RELEASE AND TEMPERATURE VALVES OR A COMBINATION THEREOF 504 WATER TANK SAFETY DEVICES.

THE MAXIMUM DISTANCE BETWEEN A HOT WATER SUPPLY SOURCE AND ALL FIXTURES SERVED BY THE SUPPLY SOURCE HAS BEN REDUCED FROM 100 FT TO 50 FT. HOT OR TEMPERED WATER SUPPLY TO FIXTURES

PLAN SCHEDULE	
SHEET #	DESCRIPTION
1 OF 6	EXTERIOR ELEVATIONS, ROOF PLAN, SECTIONS
2 OF 6	FOUNDATION PLAN, WALL SECTION, AND SECTIONS
3 OF 6	DIMENSIONAL FLOOR PLAN, FLASHING DETAILS, AND SECTIONS
4 OF 6	NOTED FLOOR PLAN, SCHEDULES, AND SECTIONS
5 OF 6	ELECTRICAL PLAN, ELECTRICAL SCHEDULE AND SECTIONS
6 OF 6	ENGINEERING NOTES AND SECTIONS
1A OF 6	ALTERNATE EXTERIOR ELEVATIONS, ROOF PLAN, SECTIONS
SH-1 OF SH-1	SHOP DRAWINGS
	TRUSS LAYOUT

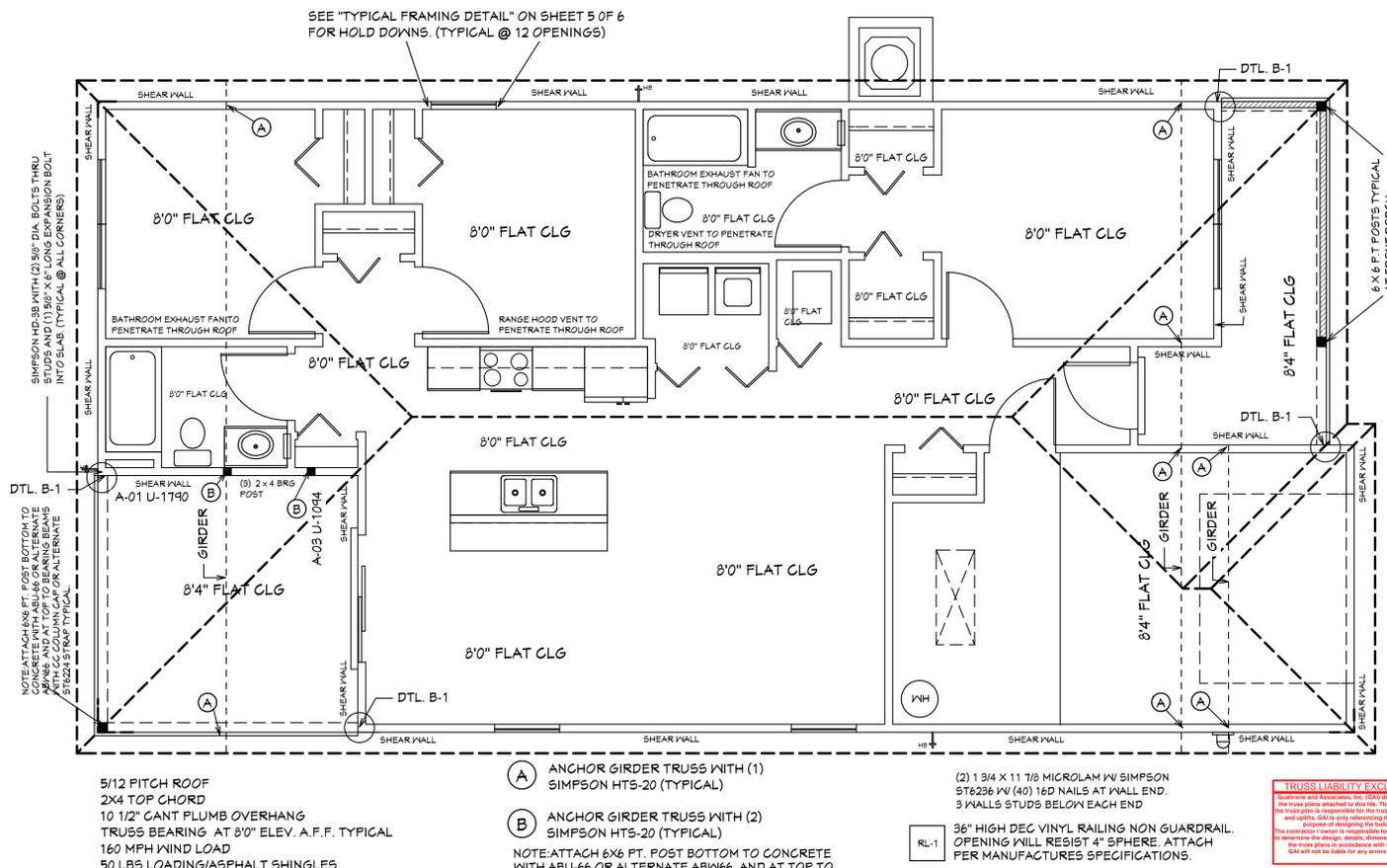


BACK ELEVATION



FRONT ELEVATION

EXTERIOR ELEVATIONS



ROOF PLANE PLAN

MASTER PLAN
 I AL QUATTRONE APPROVE OF REPETITIVE USE OF PLANS FOR PERMITTING
 PALMERA 1-A HIP MODEL / LEFT HAND GARAGE MONO FOOTER / 2023 CODE / 10 1/2" CANT

REVISIONS:

03-30-2021

03-19-2024

Quattrone & Associates, Inc.
 Engineers, Planners, & Development Consultants
 4801 Vanover Shoemaker Blvd. Fort Myers, FL 33916 (813) 936-5222
 Certificates of Authorization Number: 9465
 AL QUATTRONE P.E. # 52141

COMPLIANCE STATEMENT
 THESE PLANS HAVE BEEN DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AND THE DESIGN PARAMETERS FOR THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE CHAPTER 3 AND SECTION 1604 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE.

HICKS DRAFTING & DESIGN
 4216 5TH STREET W
 LEHIGH ACRES FL 33971
 CELL: (239) 462-2734
 E-MAIL: DHICKS922@AOL.COM

BUILDER: HABITAT FOR HUMANITY
 3 BEDROOM 2 BATH HOME / 160 MPH WIND LOADING
 NEW RESIDENCE FOR: / UNIT- / RANGE-
 LOT- / BLOCK- / TOWNSHIP-
 SECTION- / STRAP#
 ADDRESS:

DRAWN BY:
 DAVID HICKS

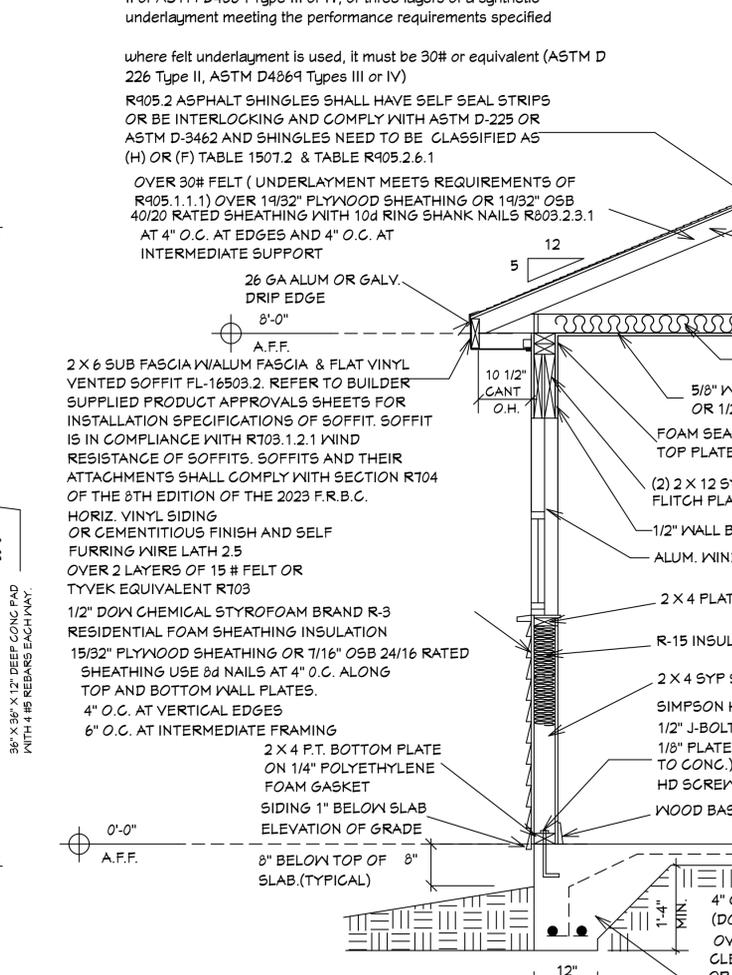
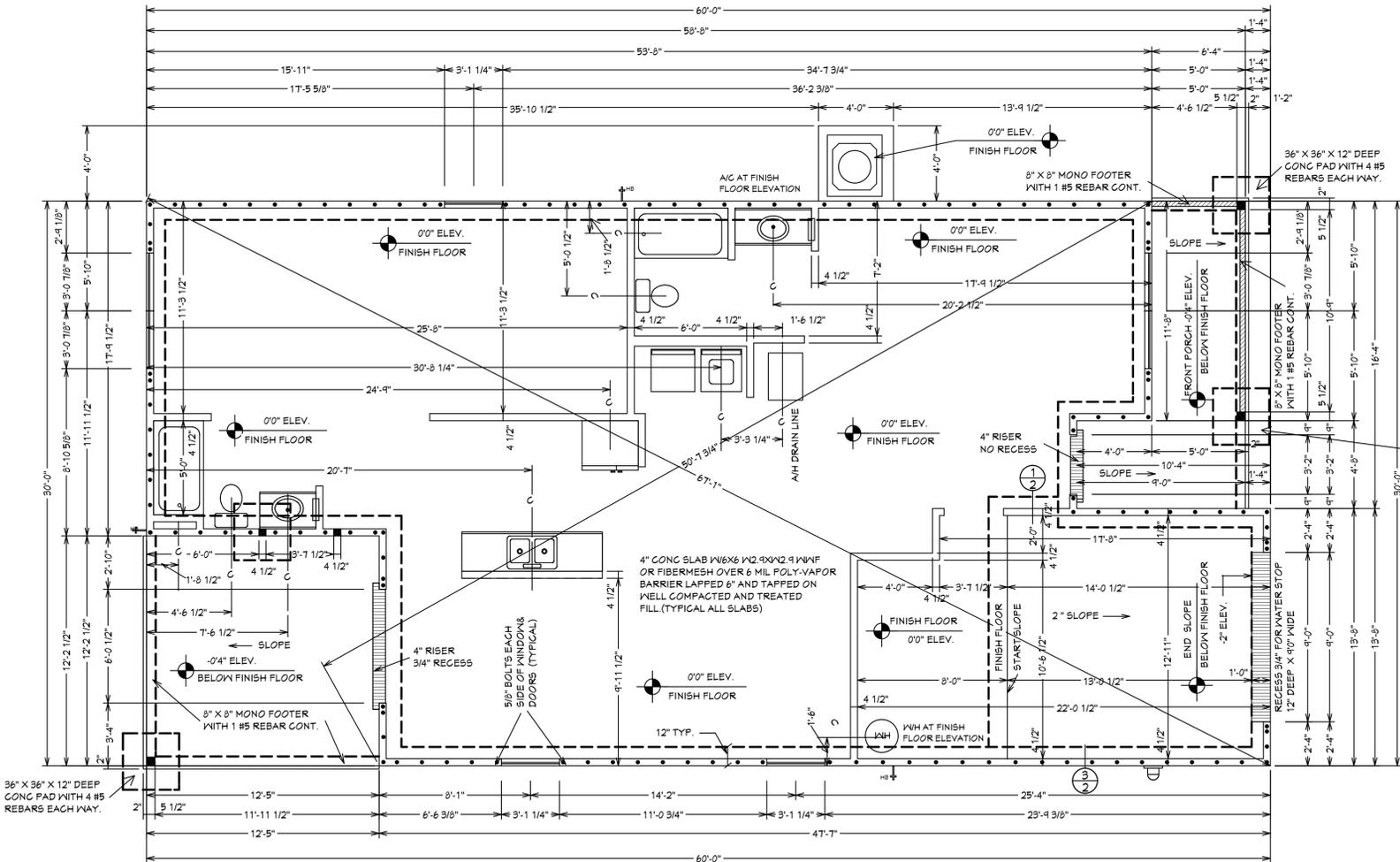
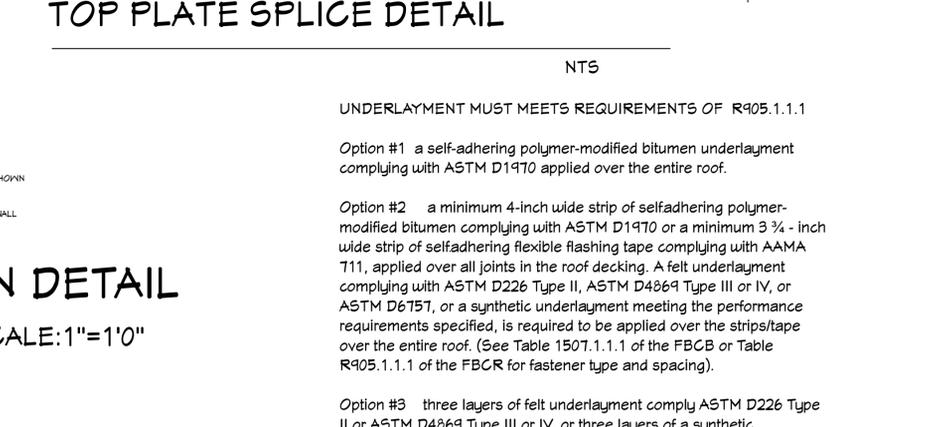
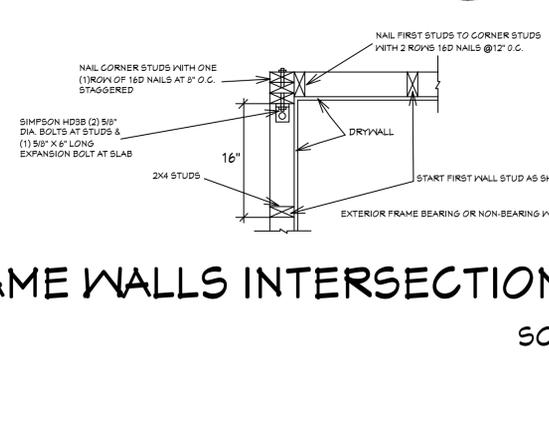
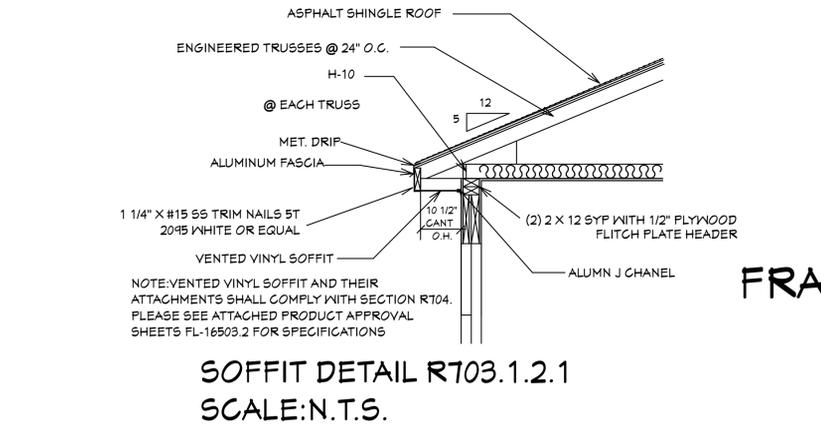
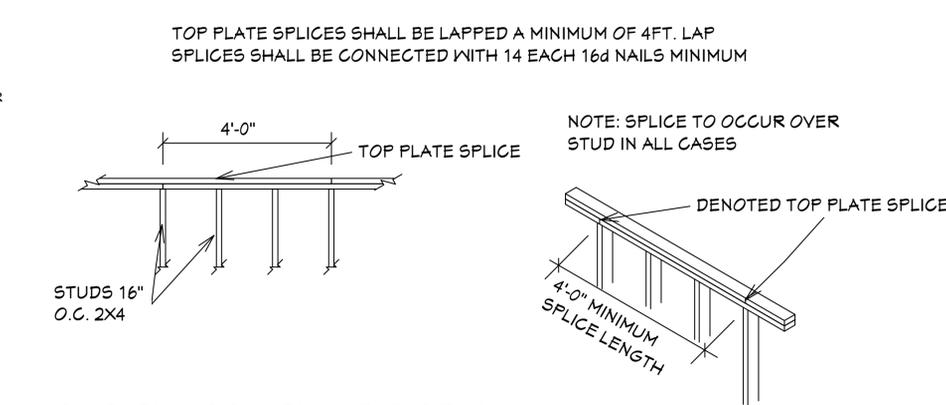
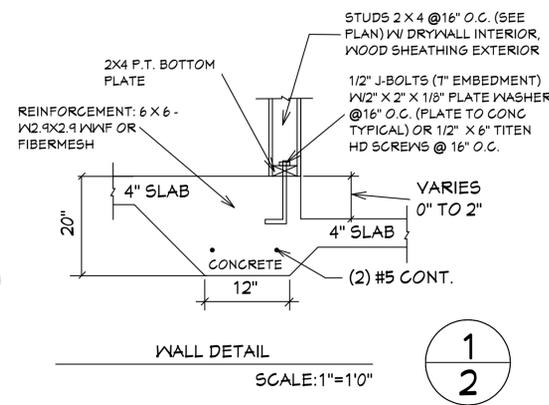
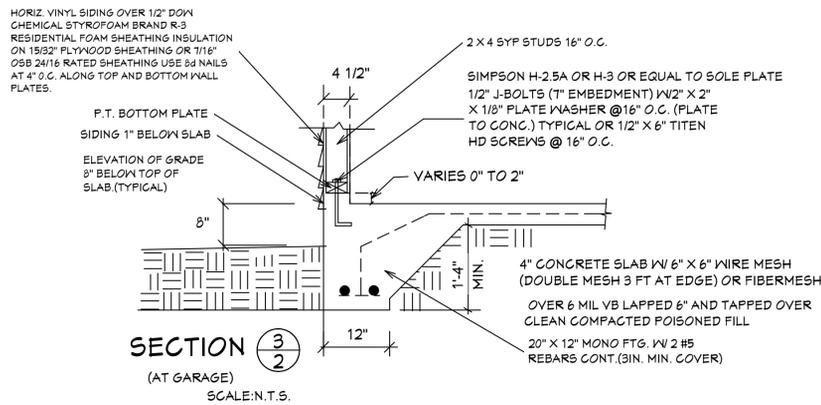
DATE: 03-12-2021

SCALE: 1/4" = 10"

JOB#: 2024-032

SHEET
 1 OF 6 SHEET

TRUSS LIABILITY EXCLUSION NOTE:
 Quattrone and Associates, Inc. (QAI) does not prepare or design the truss plans attached to this file. The engineer of record on the truss plan is responsible for the truss engineering, reactions and uplift. QAI is only responsible for the truss plan for the purpose of developing the building permit. The contractor/owner is responsible for reviewing the truss plan and ensuring it meets the requirements of the building code. QAI will not be liable for any errors in the truss design.



GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- MASONRY CONTRACTOR TO VERIFY ALL MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS AS SHOWN ON THESE PLANS WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS AND/OR OMISSIONS PRIOR TO CONSTRUCTION. IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN IN WRITING WITHIN 10 DAYS OF RECEIPT OF PLANS AND PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME.
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NOTE: MASTER PLANS FEMA/FLOOD ZONES CONSTRUCTION
NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB INCLUDING GARAGE OR BASEMENT AND ALL EQUIPMENT ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANTIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION LCD CHAPTER 6 ARTICLE IV FLOOD HAZARD REDUCTION.

NOTE: MASTER PLANS COMPLIANCE STATEMENT
THESE PLANS HAVE BEEN DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AND THEY HAVE BEEN DESIGNATED FOR THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, CHAPTER 3, AND SECTION 1604 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE.

NOTE: IN ACCORDANCE WITH CHAPTER 7 ASCE-24 ATTENDANT UTILITIES A/C AND P/W AND ALL OTHER EQUIPMENT SHALL BE LOCATED AT FINISH FLOOR ELEVATION OR ABOVE THE MINIMUM FLOOD ELEVATION BFE +1 FOOT OF FREEBOARD WITH THE EXCEPTION OF RISERS OR UNDERGROUND LINES. IT IS ACCEPTABLE FOR THE LOCATION OF A/C AND WELL EQUIPMENT AND OTHER UTILITY PAD LOCATIONS TO BE MOVED AS REQUIRED TO A DIFFERENT LOCATION OR DELETED IF NOT REQUIRED. REFER TO SITE PLAN FOR ACTUAL LOCATIONS OF UTILITY PADS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ROUGH OPENINGS AND SIZES OF ALL DOORS AND WINDOWS BEFORE STARTING CONSTRUCTION. PROVIDE 1" PVC DRAIN LINE FOR AIR HANDLER

NOTE: ALL EXTERIOR WALLS ARE 3 1/2" WIDE WOOD WALLS WITH 1/2" PLYWOOD EXTERIOR AND 1/2" DRYWALL INSIDE (4 1/2" TOTAL), UNLESS NOTED DIFFERENT.

NOTE: ALL INTERIOR WALLS ARE 4 1/2" AND 6 1/2" WIDE WOOD WALLS, UNLESS NOTED DIFFERENT.

UNDERLAYMENT MUST MEET REQUIREMENTS OF R905.1.1.1

Option #1 a self-adhering polymer-modified bitumen underlayment complying with ASTM D1970 applied over the entire roof.

Option #2 a minimum 4-inch wide strip of selfadhering polymer-modified bitumen complying with ASTM D1970 or a minimum 3/4 - inch wide strip of selfadhering flexible flashing tape complying with AAMA T11, applied over all joints in the roof decking. A felt underlayment complying with ASTM D226 Type II, ASTM D4869 Type III or IV, or ASTM D6751, or a synthetic underlayment meeting the performance requirements specified, is required to be applied over the strips/tape over the entire roof. (See Table 1507.1.1.1 of the FBCB or Table R405.1.1.1 of the FBCB for fastener type and spacing).

Option #3 three layers of felt underlayment comply ASTM D226 Type II or ASTM D4869 Type III or IV, or three layers of a synthetic underlayment meeting the performance requirements specified

where felt underlayment is used, it must be 30# or equivalent (ASTM D 226 Type II, ASTM D4869 Types III or IV)

R405.2 ASPHALT SHINGLES SHALL HAVE SELF SEAL STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D-225 OR ASTM D-3462 AND SHINGLES NEED TO BE CLASSIFIED AS (H) OR (F) TABLE 1507.2 & TABLE R405.2.6.1

OVER 30# FELT (UNDERLAYMENT MEETS REQUIREMENTS OF R405.1.1.1) OVER 1/32" PLYWOOD SHEATHING OR 1/32" OSB 40/20 RATED SHEATHING WITH 10d RING SHANK NAILS R803.2.3.1 AT 4" O.C. AT EDGES AND 4" O.C. AT INTERMEDIATE SUPPORT

26 GA ALUM OR GALV. DRIP EDGE

PRE-ENGINEERED WOOD TRUSS 24" O.C. SIMPSON H-10A TRUSS TO PLATE SIMPSON H.2.5A PLATE TO STUD OR EQUAL

5/8" WALLBOARD CEILING OR 1/2" SAG. RESISTENT

FOAM SEAL GASKET BETWEEN TOP PLATE AND DRY WALL

(2) 2 X 12 SYF WITH 1/2" PLYWOOD FLITCH PLATE HEADER

1/2" WALL BOARD

ALUM. WINDOW

2 X 4 PLATE

R-15 INSUL.

2 X 4 SYF STUDS 16" O.C.

SIMPSON H-2.5A OR H-3 OR EQUAL TO SOLE PLATE

1/2" J-BOLTS (1" EMBEDMENT) 1/2" X 2" X 1/8" PLATE WASHER @ 16" O.C. (PLATE TO CONC.) TYPICAL OR 1/2" X 6" TITEN HD SCREWS @ 16" O.C.

WOOD BASE BOARD

1/2" DOWN CHEMICAL STYROFOAM BRAND R-3 RESIDENTIAL FOAM SHEATHING INSULATION

15/32" PLYWOOD SHEATHING OR 1/16" OSB 24/16 RATED SHEATHING USE 8d NAILS AT 4" O.C. ALONG TOP AND BOTTOM WALL PLATES.

4" O.C. AT VERTICAL EDGES

6" O.C. AT INTERMEDIATE FRAMING

2 X 4 P.T. BOTTOM PLATE ON 1/4" POLYETHYLENE FOAM GASKET SIDING 1" BELOW SLAB ELEVATION OF GRADE

8" BELOW TOP OF 8" SLAB (TYPICAL)

4" CONCRETE SLAB W/ 6" X 6" WIRE MESH (DOUBLE MESH 3 FT AT EDGE) OR FIBERMESH OVER 6 MIL VB LAPPED 6" AND TAPPED OVER CLEAN COMPACTED POISONED FILL OR OPTIONAL BORA CARE TREATMENT

20" X 12" MONO FTG. W/ 2 #5 REBARS CONT.(3IN. MIN. COVER)

REVISIONS:

03-30-2021
03-19-2024

QUATTRONE & ASSOCIATES, Inc.
Engineers, Planners, & Development Consultants
4501 Vonoree Shoemaker Blvd. Fort Myers, FL 33916 (813) 956-5222 (Altitude)
Certification of Authorization Number: 9465
AL QUATTRONE P.E. # 52141

HICKS DRAFTING & DESIGN
4216 5TH STREET W
LEHIGH ACRES FL 33971
CELL: (239) 462-2734
E-MAIL: DHICKS922@AOL.COM

BUILDER: HABITAT FOR HUMANITY
3 BEDROOM 2 BATH HOME / 160 MPH WIND LOADING

NEW RESIDENCE FOR: / LOT- / BLOCK- / UNIT- / RANGE-
SECTION- / TOWNSHIP- / STRAP# / ADDRESS:

DRAWN BY: DAVID HICKS
DATE: 03-12-2021
SCALE: 1/4" = 1'-0"
JOB#: 2024-032
SHEET 2 OF 6

03-19-2024 REVISION

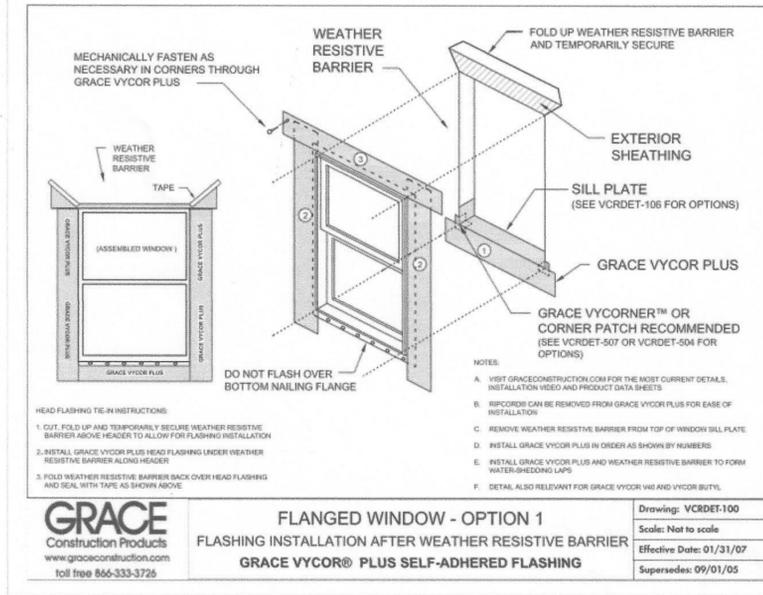
PALMERA 1-A HIP MODEL / LEFT HAND GARAGE MONO FOOTER / 2023 CODE / 10 1/2" CANT

03-19-2024

R703.4 Flashing.

Approved metal flashing, vinyl flashing, self-adhered membranes and mechanically attached flexible flashing shall be applied shingle-fashion or in accordance with the manufacturer's instructions. Metal flashing shall be corrosion resistant. Fluid-applied membranes used as flashing shall be applied in accordance with the manufacturer's instructions. All flashing shall be applied in a manner to prevent the entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA T11. All exterior fenestration products shall be sealed at the juncture with the building wall with a sealant complying with AAMA 800 or ASTM C920 Class 25 Grade N5 or greater for proper joint expansion and contraction, ASTM C1281, AAMA 812, or other approved standard as appropriate for the type of sealant. Fluid-applied membranes used as flashing in exterior walls shall comply with AAMA T14. The flashing shall extend to the surface of the exterior wall finish. Approved flashings shall be installed at the following locations:

1. Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier complying with Section 703.2 for subsequent drainage. Mechanically attached flexible flashings shall comply with AAMA 712. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following:
 - 1.1. The fenestration manufacturer's installation and flashing instructions, or for applications not addressed in the fenestration manufacturer's instructions, in accordance with the flashing or water-resistive barrier manufacturer's instructions. Where flashing instructions or details are not provided, pan flashing shall be installed at the sill of exterior window and door openings. Pan flashing shall be sealed or sloped in such a manner as to direct water to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage. Openings using pan flashing shall incorporate flashing or protection at the head and sides.
 - 1.2. In accordance with the flashing design or method of a registered design professional.
 - 1.3. In accordance with other approved methods.
 - 1.4. In accordance with FMA/AAMA 100, FMA/AAMA 200, FMA/NDMA 250, FMA/AAMA/NDMA 300 or FMA/AAMA/NDMA 400, or FMA/AAMA/NDMA 2110.
2. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
3. Under and at the ends of masonry, wood or metal copings and sills.
4. Continuously above all projecting wood trim.
5. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.
6. At wall and roof intersections.
7. At built-in gutters.



PAN FLASHING UNDER WINDOWS AND DOORS ON FRAME CONSTRUCTION NEED TO COMPLY WITH AAMA711 IF SELF-ADHERED MEMBRANES ARE USED AS FLASHING R703.4

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.
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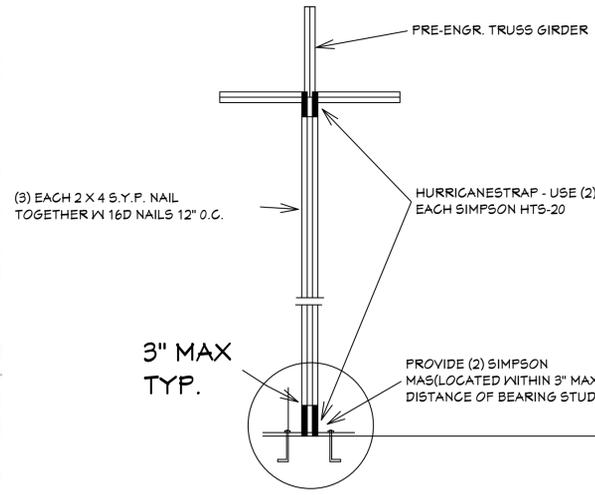
NOTE: MASTER PLANS FEMA FLOOD ZONES CONSTRUCTION
NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND AG-PIN AND ALL EQUIPMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANTIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION. LDCG CHAPTER 6, ARTICLE IV FLOOD HAZARD REDUCTION.

THIS RESIDENCE MAY NOT BE BUILT WITHIN 60' OF ANOTHER STRUCTURE OR 50' FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

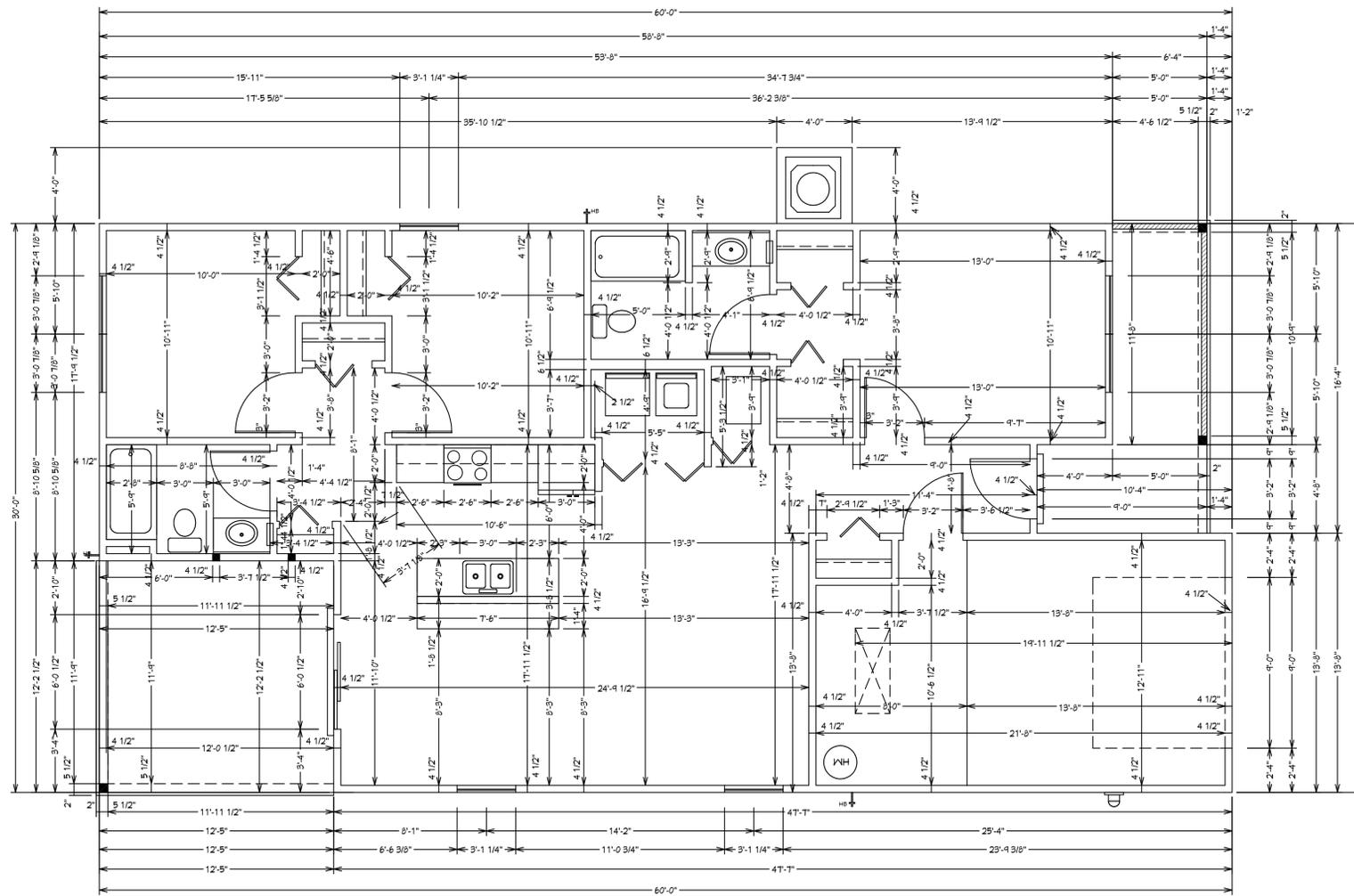
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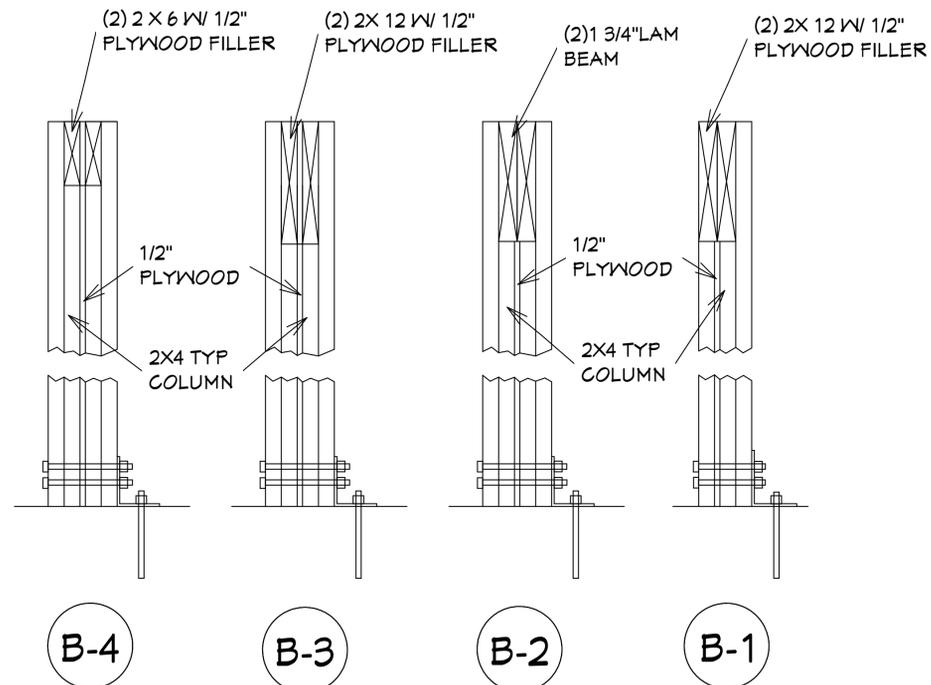
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E-MAIL: DHICKS@AOL.COM



TYPICAL CONNECTION SECTION FOR GIRDER TRUSS TO BEARING WALLS WITH REACTIONS OVER #2000
SCALE: 1/2" = 1'0"



DIMENSIONAL FLOOR PLAN



DETAIL
SCALE: 1 1/2" = 1'0"

03-19-2024 REVISION PALMERA 1-A HIP MODEL / LEFT HAND GARAGE MONO FOOTER / 2023 CODE / 10 1/2" CANT

BUILDER: HABITAT FOR HUMANITY
3 BEDROOM 2 BATH HOME / 160 MPH WIND LOADING

NEW RESIDENCE FOR:
LOT: / BLOCK: / UNIT: / RANGE:
SECTION: / TOWNSHIP: / ADDRESS:
STRAP#

DRAWN BY:
DAVID HICKS

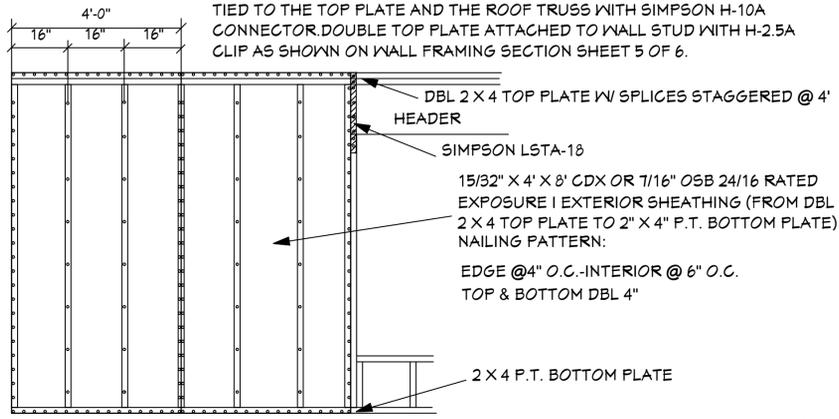
DATE: 03-12-2021

SCALE: 1/4" = 1'0"

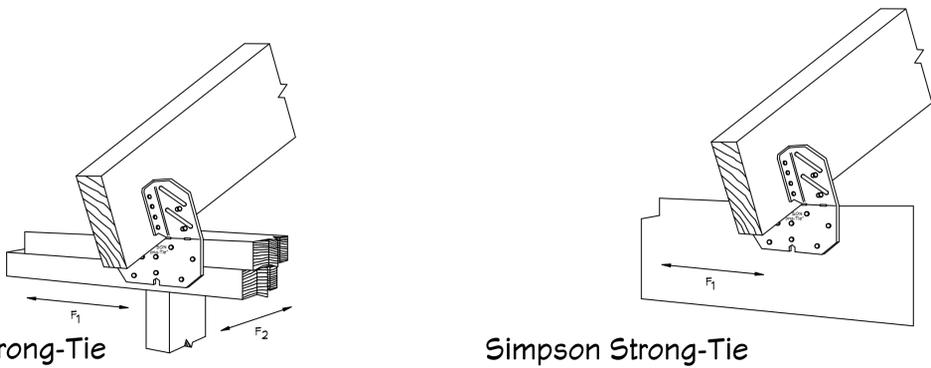
JOB#: 2024-032

SHEET
3 OF 6 SHEET

NOTE: THIS SECTION SHOWS FOR THE EXTERIOR SHEATHING TO EXTEND TO THE TOP OF UPPER 2 X OF THE DOUBLE TOP PLATE OF THE WALLS. HOWEVER IT IS ACCEPTABLE THAT THE EXTERIOR SHEATHING IS NAILED TO THE BOTTOM PLATE OF THE DOUBLE TOP PLATE. USE SINGLE ROW OF 8D RINGSHANK NAILS @ 4" O.C. AT EDGES AND 6" O.C. AT INTERIOR LOCATIONS. THE BOTTOM PLATE IS TO BE TIED TO THE TOP PLATE AND THE ROOF TRUSS WITH SIMPSON H-10A CONNECTOR. DOUBLE TOP PLATE ATTACHED TO WALL STUD WITH H-2.5A CLIP AS SHOWN ON WALL FRAMING SECTION SHEET 5 OF 6.



EXTERIOR WALL NAILING DETAIL
SCALE: N.T.S.



Simpson Strong-Tie H10A HURRICANE CLIP @ EXT. BEARING WALL

Simpson Strong-Tie H10A HURRICANE CLIP @ EXT. BEARING WD. BEAM

GENERAL NOTES
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS & ENTRY DOORS AS SHOWN ON THESE PLANS WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS AND/OR OMISSIONS PRIOR TO CONSTRUCTION. IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECEIPT OF PLANS AND PRIOR TO ANY CONSTRUCTION. OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME.
4. HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, CHAPTER 3, AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE, TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE STATE, COUNTY, AND LOCAL STATUTES, ORDINANCES, REGULATIONS, AND RULES.

NOTE: MASTER PLANS FEMA FLOOD ZONES CONSTRUCTION NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND AG IN IN AND ALL EQUIPMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANTIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION LCD CHAPTER 6, ARTICLE IV FLOOD HAZARD REDUCTION.
THIS RESIDENCE MAY NOT BE BUILT WITHIN 60' OF ANOTHER STRUCTURE OR 50' FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

Quatrone & Associates, Inc.
Engineers, Planners, & Development Consultants
4501 Vonoree Shoemaker Blvd. Fort Myers, FL 33916 (813) 956-5222
AL QUATRONE P.E. # 52141
Certification of Authorization Number: 9465

COMPLIANCE STATEMENT
THESE PLANS HAVE BEEN DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AND THEY COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, CHAPTER 3, AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE.

REVISIONS:

03-30-2021
03-19-2024

DOOR LEGEND

FEET	INCHES	WIDTH	HEIGHT	PKT= POCKET
3	0	6	8	BF= BI-FOLD
				BP= BI-PASS
				FR= FRENCH
				FX= FIXED
				MIR= MIRROR
				O.H.G.D.= OVER HEAD GARAGE DOOR
				S.G.D.= SLIDING GLASS DOOR
				S.C.= SOLID CORE

NOTE: ALL NAILING @ ALL SURFACES TO BE NAILED W/8D RING SHANK NAILS

*NOTE:
BOTTOM CHORD OF ALL TRUSSES IN LANAI AND ENTRY (AREAS EXPOSED TO WIND). IT IS ACCEPTABLE TO ADD SHEATHING IN THESE AREAS AND SHEATHING TO BE 1/2" EXTERIOR GRADE PLYWOOD OR 1/2" O.S.B. BOARD. ATTACH PLYWOOD OR O.S.B. BOARD TO BOTTOM CHORDS OF ROOF TRUSSES WITH 10d NAILS AT 4" O.C. AT EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS. IT IS ACCEPTABLE TO COVER PLYWOOD WITH SOLID VINYL SOFFIT FL-16503.2 ATTACH SOLID VINYL SOFFIT TO PLYWOOD OR O.S.B. BOARD WITH 16 GA X 1/16" WIDTH CROWN STAPLE 5/8" MIN LENGTH @ 12" O.C. SOLID VINYL SOFFIT MEETS REQUIREMENTS OF THE 8TH EDITION OF THE 2023 F.R.B.C.

AREA SCHEDULE

LIVING A/C	1240 SQ. FT.
GARAGE	286 SQ. FT.
FRONT PORCH	100 SQ. FT.
FRONT PORCH	152 SQ. FT.
TOTAL	1778 SQ. FT.

INTERIOR DOOR SCHEDULE

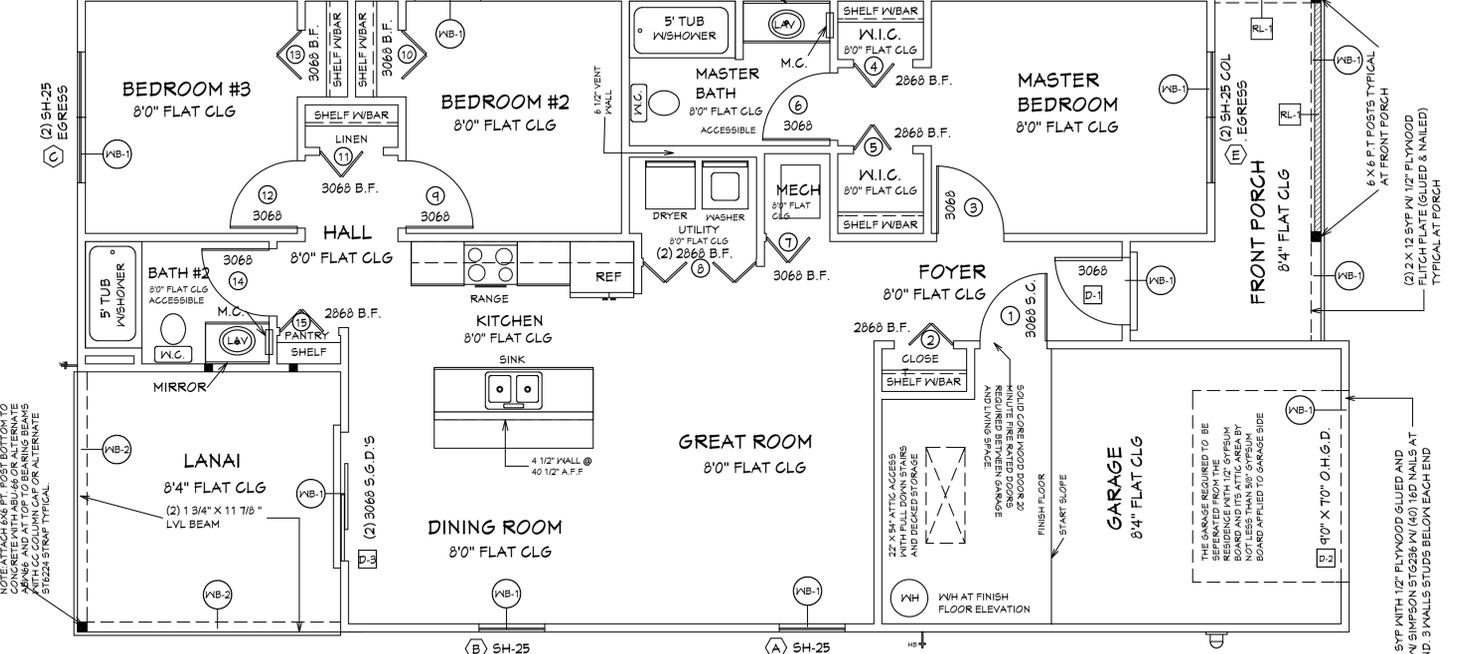
ID	QTY.	ROOM	SIZE	MANUF.	DESIGNATION	NOTES
1	1	GARAGE	3068 S.C.			SOLID CORE
2	1	FOYER	2868 B.F.			
3	1	MASTER BED	3068			
4	1	MASTER WIC	2868 B.F.			
5	1	MASTER WIC	2868 B.F.			
6	1	MASTER BATH	3068			
7	1	MECH	3068 B.F.			
8	1	UTILITY ROOM	(2) 2868 B.F.			
9	1	BEDROOM#2	3068			
10	1	BEDROOM#2	3068 B.F.			
11	1	HALL	3068 B.F.			
12	1	BEDROOM#3	3068			
13	1	BEDROOM#3	3068 B.F.			
14	1	BATH #2	3068			
15	1	FANTRY	2868 B.F.			

NOTE: IN ACCORDANCE WITH CHAPTER 1 ASCE-24 ATTENDANT UTILITIES A/C AND W/H AND ALL OTHER EQUIPMENT SHALL BE LOCATED AT FINISH FLOOR ELEVATION OR ABOVE THE MINIMUM FLOOD ELEVATION BFE +1 FOOT OF FREEBOARD WITH THE EXCEPTION OF RISERS OR UNDERGROUND LINES. IT IS ACCEPTABLE FOR THE LOCATION OF A/C AND WELL EQUIPMENT AND OTHER UTILITY PAD LOCATIONS TO BE MOVED AS REQUIRED TO A DIFFERENT LOCATION OR DELETED IF NOT REQUIRED. REFER TO SITE PLAN FOR ACTUAL LOCATIONS OF UTILITY PADS.

PRODUCT SCHEDULE

160 MPH (ULTIMATE DESIGN) = 124 (NOMINAL DESIGN)

ROOM NAME	MARK	CALL SIZE	R.O. WINDOW SIZE		DETAIL	ZONE	DESIGN PRESS (PSF)	WINDOW / DOOR PRODUCT APPROVAL		INSTALLATION NOTES (LIST BELOW)	ENCLOSED STRUCTURE		IMPACT COVERING PRODUCT APPROVAL DESIGNATION / ENTITY (WHERE APPLICABLE)	
			WxH	HxW				DESIGNATION / ENTITY	TYPE		TYPE OF WINDBORNE DEBRIS PROTECTION (WHERE APPLICABLE)	TYPE GLAZING / COVERING		
DOOR SCHEDULE														
FOYER	D-1	3068	38" X 81 3/8"		PER MFR.	5	26-40/34-50	REFER TO PRODUCT APPROVAL SHEETS			Y	N/A	IMPACT APPROVED WITHOUT GLAZING OR COVERING	
GARAGE	D-2	(1) 9'0" X 7'0" O.H.G.D.	9'-0" X 7'-0"		PER MFR.	5	24-72/31-20	REFER TO PRODUCT APPROVAL SHEETS		3	Y	N/A	IMPACT APPROVED WITHOUT GLAZING OR COVERING	
DINING ROOM	D-3	(2) 3068 S.G.D.'S	72 1/2" X 81 3/8"		PER MFR.	5	26-40/34-50	REFER TO PRODUCT APPROVAL SHEETS		3	Y	COVERING	HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS	
*WINDOW SCHEDULE														
GREAT ROOM	A	SH-25	37 1/4" X 62 3/4"		PER MFR.	4	21-66/30-00	REFER TO PRODUCT APPROVAL SHEETS			Y	COVERING	HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS	
DINING ROOM	B	SH-25	37 1/4" X 62 3/4"		PER MFR.	4	21-66/30-00	REFER TO PRODUCT APPROVAL SHEETS			Y	COVERING	HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS	
BEDROOM #3	C	(2) SH-25	73 3/4" X 62 3/4"		PER MFR.	4	26-40/28-74	REFER TO PRODUCT APPROVAL SHEETS			1	Y	COVERING	HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS
BEDROOM #2	D	SH-25	37 1/4" X 62 3/4"		PER MFR.	4	21-66/30-00	REFER TO PRODUCT APPROVAL SHEETS			1	Y	COVERING	HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS
MASTER BEDROOM	E	(2) SH-25 COL.	73 3/4" X 62 3/4"		PER MFR.	5	26-40/34-50	REFER TO PRODUCT APPROVAL SHEETS			1	Y	COVERING	HURRICANE PANELS REFER TO PRODUCT APPROVAL SHEETS



NOTE: ALL EXTERIOR WALLS ARE 3 1/2" WIDE WOOD WALLS WITH 1/2" PLYWOOD EXTERIOR AND 1/2" DRYWALL INSIDE (4 1/2" TOTAL.) UNLESS NOTED DIFFERENT.
NOTE: ALL INTERIOR WALLS ARE 4 1/2" AND 6 1/2" WIDE WOOD WALLS. UNLESS NOTED DIFFERENT.
CONTRACTOR IS RESPONSIBLE FOR VERIFYING ROUGH OPENINGS AND SIZES OF ALL DOORS AND WINDOWS BEFORE STARTING CONSTRUCTION.
NOTE: ATTACH 6x6 PT. POST BOTTOM TO CONCRETE WITH ABU-66 OR ALTERNATE WITH GC COLUMN CAP AND AT TOP TO BEARING BEAMS WITH GC COLUMN CAP OR ALTERNATE ST6224 STRAP TYPICAL.

(NB-1) = (2) 2 X 12 SYP WITH 1/2" PLYWOOD FLITCH PLATES. GLUED AND NAILED
(NB-2) = (2) 1 3/4" X 11 7/8" LVL BEAMS
(NB-3) = (2) 1 3/4" X 11 7/8" MICROLAM W/ SIMPSON ST6236 W/ (40) 16D NAILS AT WALL END. 3 WALLS STUDS BELOW EACH END
RL-1 36" HIGH DEC VINYL RAILING NON GUARDRAIL. OPENING WILL RESIST 4" SPHERE. ATTACH PER MANUFACTURER SPECIFICATIONS.

(2) 2 X 12 SYP WITH 1/2" PLYWOOD GLUED AND NAILED W/ SIMPSON ST6236 W/ (40) 16D NAILS AT EACH END. 3 WALLS STUDS BELOW EACH END

THE GARAGE REQUIRED TO BE SEPARATED FROM THE MAIN AREA BY BOARD AND ITS ATTIC AREA BY NOT LESS THAN 800 OPS/PIN BOARD APPLIED TO GARAGE SIDE

36" HIGH DEC VINYL RAILING NON GUARDRAIL. OPENING WILL RESIST 4" SPHERE. ATTACH PER MANUFACTURER SPECIFICATIONS.

NOTED FLOOR PLAN

*ROOF COVERING MATERIAL

*TYPE	*MANUFACTURER	*APPROVED MODEL, STYLE, OR DESIGNATION
ASPHALT SHINGLES	REFER TO PRODUCT APPROVAL SHEETS	REFER TO PRODUCT APPROVAL SHEETS

CODE COMPLIANCE:
1. ASPHALT SHINGLES SHALL BE IN COMPLIANCE WITH THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, SEC. R405.2
2. CLAY AND CONCRETE TILES SHALL BE IN COMPLIANCE WITH THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, SEC. R405.3
3. METAL ROOFING SHALL BE IN COMPLIANCE WITH THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, SEC. R405.10

*IMPACT RESISTANT COVERING MATERIAL

*TYPE	*MANUFACTURER	*APPROVED MODEL, STYLE, OR DESIGNATION
HURRICANE PANELS	REFER TO PRODUCT APPROVAL SHEETS	REFER TO PRODUCT APPROVAL SHEETS

INSTALLATION NOTES:
1. MEANS OF EGRESS
2. TEMPERED WINDOW
3. O.H. GARAGE DOOR

*LEGEND:
Dx = DOOR DESIGNATION
Slx = SKYLITE DESIGNATION
Wx = WINDOW DESIGNATION

*SIZE DESIGNATIONS
W = WIDTH
H = HEIGHT

BUILDER TO VERIFY ALL ROUGH OPENINGS FOR ALL DOORS, SLIDING GLASS DOORS, AND WINDOWS PRIOR TO START OF CONSTRUCTION.
WINDOWS SHGC = 0.24
REFER TO ATTACHED ENERGY CALCULATIONS AND ATTACHED INFORMATION FROM WINDOW AND DOOR COMPANY.

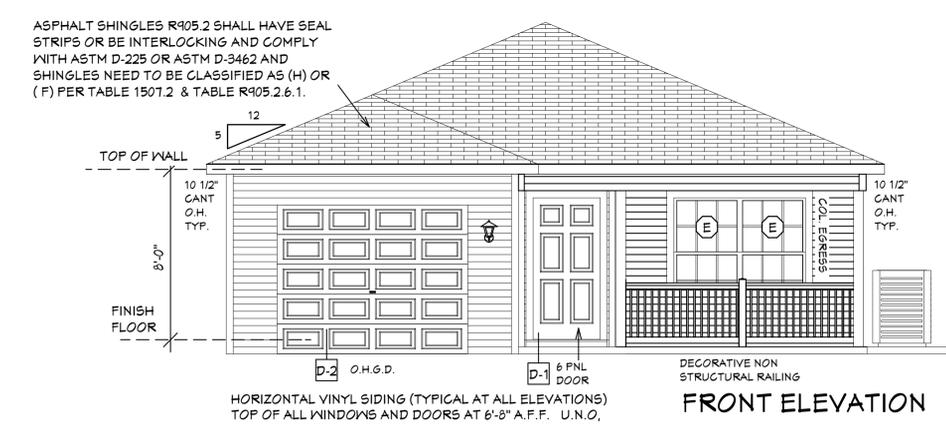
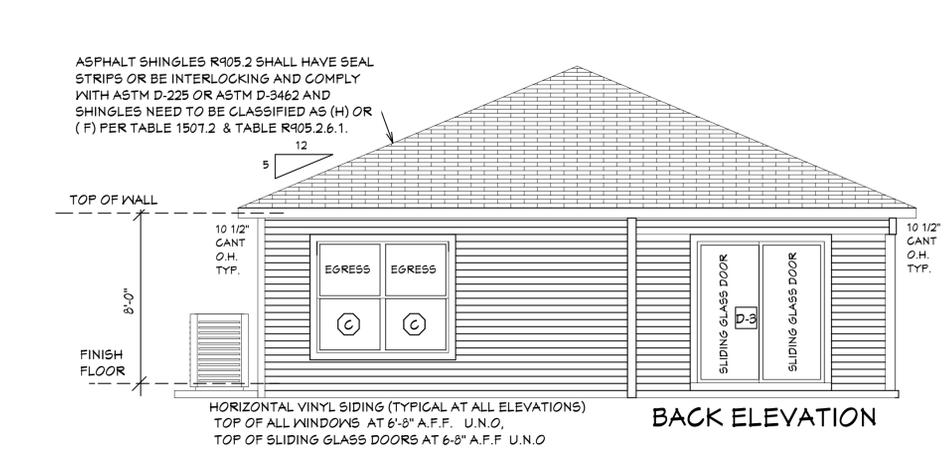
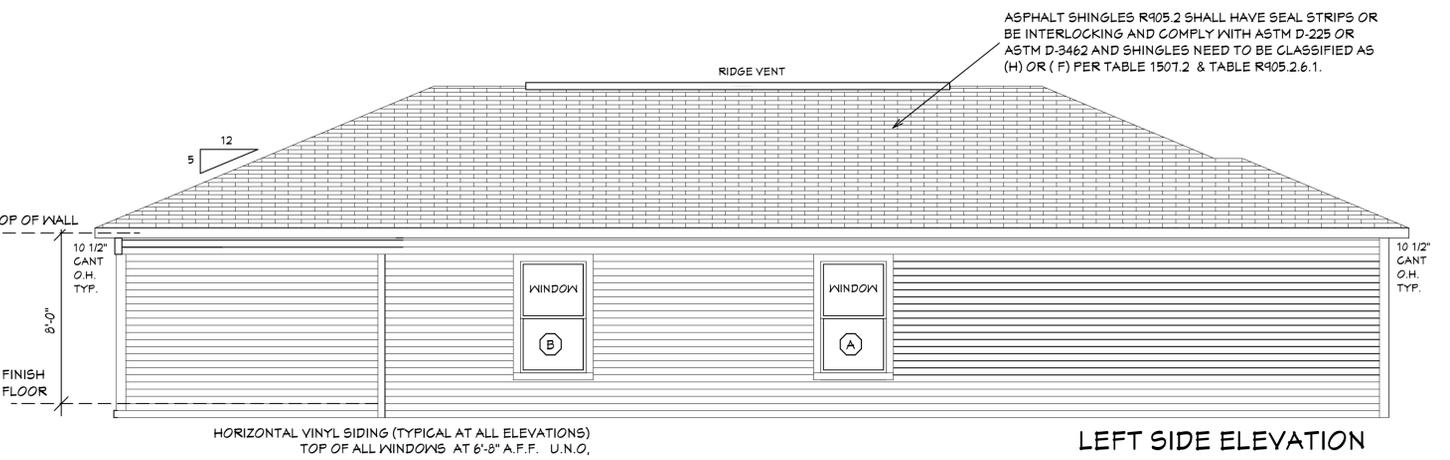
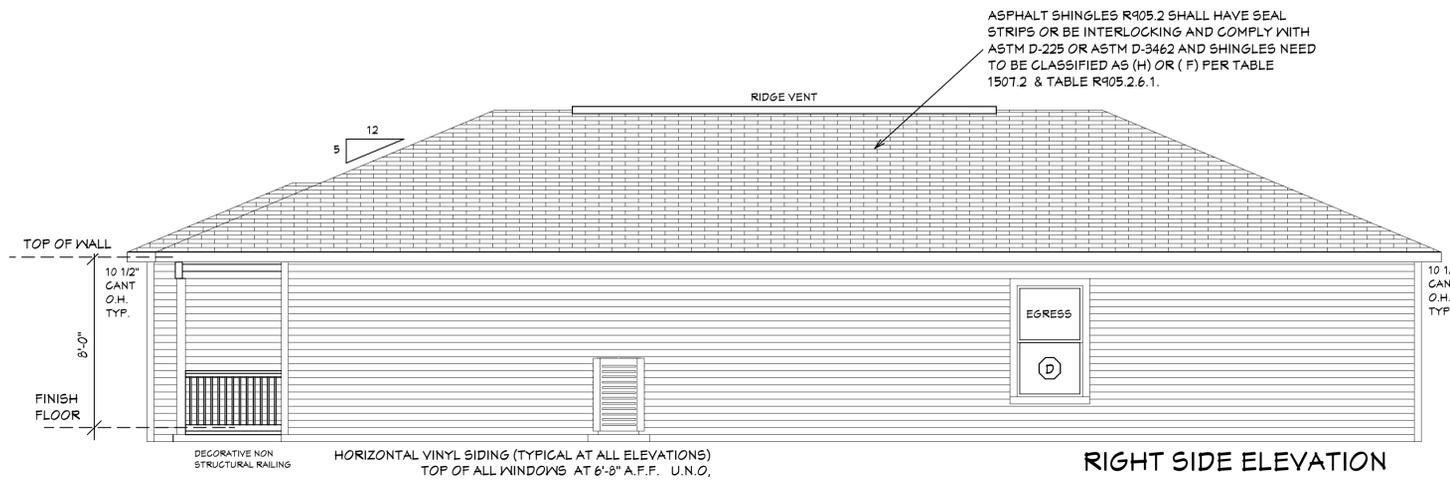
BUILDER TO SUPPLY PRODUCT APPROVAL

03-19-2024 REVISION PALMERA 1-A HIP MODEL / LEFT HAND GARAGE MONO FOOTER / 2023 CODE / 110 1/2" GANT

HICKS DRAFTING & DESIGN
4216 5TH STREET W
LEHIGH ACRES FL 33971
CELL: (239) 462-2734
E-MAIL: DHICKS922@AOL.COM

BUILDER: HABITAT FOR HUMANITY
3 BEDROOM 2 BATH HOME / 160 MPH WIND LOADING
NEW RESIDENCE FOR: / UNIT- / RANGE-
LOT- / BLOCK- / TOWNSHIP- / ADDRESS:
ADDRESS:

DRAWN BY: DAVID HICKS
DATE: 03-12-2021
SCALE: 1/4" = 1'0"
JOB#: 2024-032
SHEET 4 OF 6



EXTERIOR ELEVATIONS

DESIGN PARAMETERS:

APPLICABLE CODES:
 BUILDING CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023
 MECHANICAL CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, MECHANICAL 2023
 PLUMBING CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, PLUMBING 2023
 ELECTRICAL CODE = NEC 2020
 FLORIDA FIRE PREVENTION CODE = 8TH EDITION
 LIFE SAFETY CODE = NFPA 101 8TH EDITION
 ACCESSIBILITY CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023
 ENERGY CODE = (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023

METHOD OF DESIGN:
 DESIGNED PURSUANT TO (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, BUILDING 2023, CHAPTER 3 AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE

BASIC WIND SPEED:
 110 MPH (ULTIMATE DESIGN) = 132.0 MPH (NOMINAL DESIGN)
 120 MPH (ULTIMATE DESIGN) = 144.0 MPH (NOMINAL DESIGN)
 150 MPH (ULTIMATE DESIGN) = 180.0 MPH (NOMINAL DESIGN)

IMPORTANCE FACTOR COMPONENTS AND CLADDING:
 0.71 (RISK CATEGORY I) 1.15 (RISK CATEGORY III)
 1.00 (RISK CATEGORY II) 1.15 (RISK CATEGORY IV)

BUILDING OCCUPANCY CLASSIFICATION:
 GROUP A - ASSEMBLY GROUP H - HAZARDOUS
 GROUP B - BUSINESS GROUP I - INSTITUTIONAL
 GROUP D - DAY CARE CENTER GROUP M - MERCHANTILE
 GROUP E - EDUCATIONAL GROUP R - RESIDENTIAL
 GROUP F - FACTORY INDUSTRIAL GROUP S - STORAGE

TORNADO BASIC WIND SPEED:
 RISK CATEGORY II - N/A
 110 MPH (NORMAL DESIGN F3-SECOND GUST)
 150 MPH (NORMAL DESIGN F3-SECOND GUST)
 150 MPH (NORMAL DESIGN F3-SECOND GUST)

RAIN FALL INFORMATION:
 N/A SLOPED ROOF GREATER THAN 2/12
 RAINFALL DATA FROM FBC PLUMBING 2023 FIGURE 1106.1 IN./HR.
 ROOF AREA IN SF.

BUILDING CONSTRUCTION TYPE:
 TYPE I TYPE IV
 TYPE II TYPE V
 TYPE III

EXPOSURE CATEGORY:
 A C
 B D

WINDBORNE DEBRIS REGION:
 NO
 YES
 IMPACT RESISTANT GLAZING
 IMPACT RESISTANT COVERING
 COMBINATION OF IMPACT RESISTANT GLAZING & COVERING

INTERNAL PRESSURE COEFFICIENTS:
 0.00 (OPEN)
 +0.18, -0.18 (ENCLOSED)
 +0.95, -0.95, (PARTIALLY ENCLOSED)

CLASSIFICATION OF WORK:
 ALTERATION
 LEVEL 1
 LEVEL 2
 LEVEL 3
 NEW CONSTRUCTION
 CHANGE OF OCCUPANCY
 ADDITION / REMODEL
 HISTORIC BUILDING

DESIGN LOAD BEARING VALUE OF SOIL 2000 PSF

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION AND PRIOR TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.

2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.

3. IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS AND/OR OMISSIONS PRIOR TO CONSTRUCTION IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECEIPT OF PLANS AND PRIOR TO ANY CONSTRUCTION OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME.

4. HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE, CHAPTER 3, AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE, TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE STATE, COUNTY, AND LOCAL STATUTES, ORDINANCES, REGULATIONS, AND RULES.

NOTE: MASTER PLANS FEMA FLOOD ZONES CONSTRUCTION NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND A/C UNIT AND ALL EQUIPMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANTIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION LCD CHAPTER 6, ARTICLE IV FLOOD HAZARD REDUCTION.

THIS RESIDENCE MAY NOT BE BUILT WITHIN 8'0" OF ANOTHER STRUCTURE OR 5'0" FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

BUILDING OVERHANG TO BE 5 FEET FROM PROPERTY LINE UNLESS RATED OR FIRE SPRINKLERED TABLE R302.1(1)

DECK BOARDS & STAIR TREADS REQUIRED TO HAVE LABEL R507

ONE LAYER OF WATER RESISTIVE BARRIER BEHIND EXTERIOR SIDING WALL COVERING R103.2

TWO LAYERS OF WATER RESISTIVE BARRIER BEHIND EXTERIOR WALLS WITH WIRE LATH & CEMENTITIOUS FINISH COVERING R103.1.3

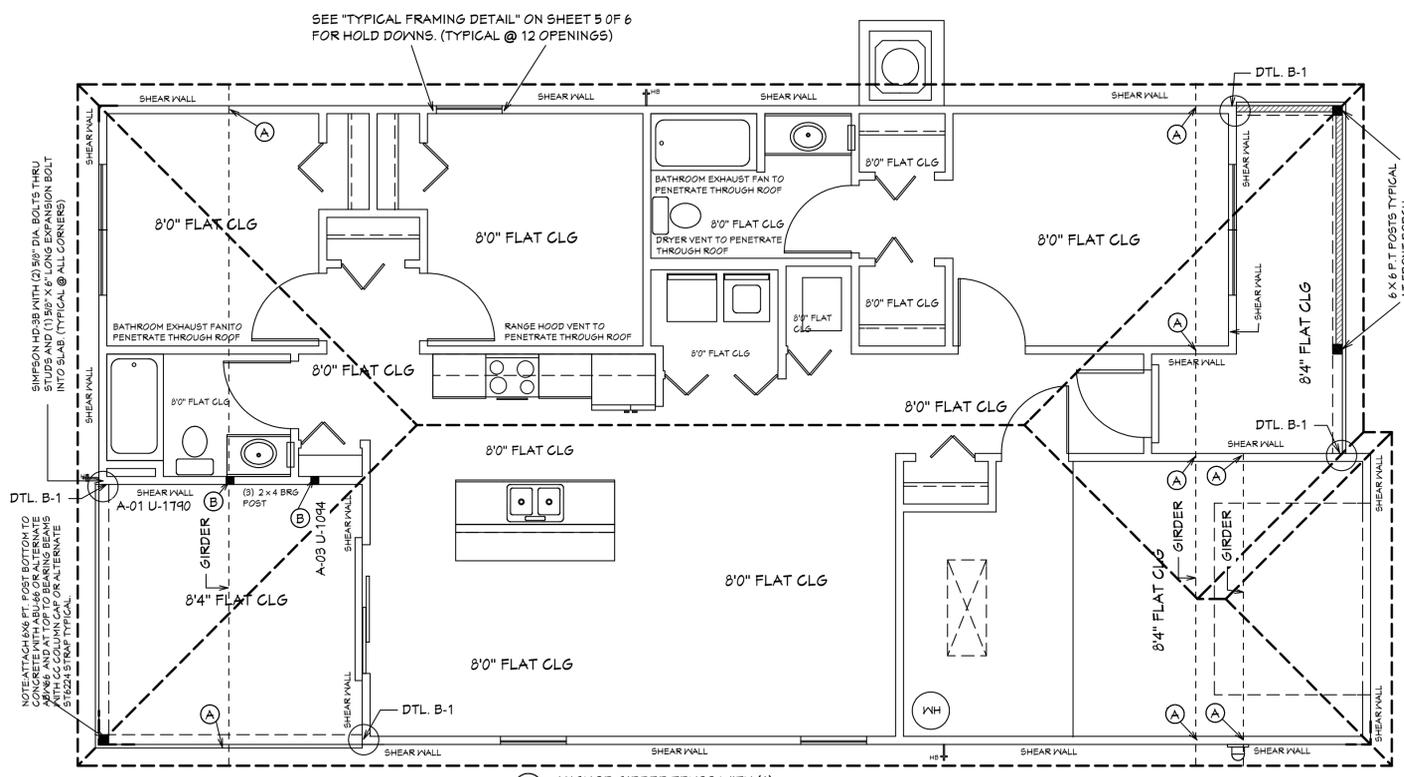
PAN FLASHING UNDER WINDOWS AND DOORS ON FRAME CONSTRUCTION. REFER TO NOTES R103.4 ON SHEET 3 OF 6

WINDOWS MUST HAVE COMPLIANT SHGC VALUES. REFER TO EXTERIOR OPENING CHART AND ATTACHED ENERGY CALCULATIONS AND WINDOW AND DOOR SPEC SHEETS FROM MANUFACTURERS.

WATER HEATERS AND STORAGE TANKS SHALL BE EQUIPT WITH PRESSURE RELEASE AND TEMPERATURE VALVES OR A COMBINATION THEREOF 504 WATER TANK SAFETY DEVICES.

THE MAXIMUM DISTANCE BETWEEN A HOT WATER SUPPLY SOURCE AND ALL FIXTURES SERVED BY THE SUPPLY SOURCE HAS BEEN REDUCED FROM 100 FT TO 50 FT. HOT OR TEMPERED WATER SUPPLY TO FIXTURES

PLAN SCHEDULE	
SHEET #	DESCRIPTION
1 OF 6	EXTERIOR ELEVATIONS, ROOF PLAN, SECTIONS
2 OF 6	FOUNDATION PLAN, WALL SECTION, AND SECTIONS
3 OF 6	DIMENSIONAL FLOOR PLAN, FLASHING DETAILS, AND SECTIONS
4 OF 6	NOTED FLOOR PLAN, SCHEDULES, AND SECTIONS
5 OF 6	ELECTRICAL PLAN, ELECTRICAL SCHEDULE AND SECTIONS
6 OF 6	ENGINEERING NOTES AND SECTIONS
1A OF 6	ALTERNATE EXTERIOR ELEVATIONS, ROOF PLAN, SECTIONS
SH-1 OF SH-1	SHOP DRAWINGS
	TRUSS LAYOUT



ROOF PLANE PLAN

Quatrone & Associates, Inc.
 Engineers, Planners, & Development Consultants
 4501 Vanessa Shoemaker Blvd. Fort Myers, FL 33916 (813) 956-5222 (Altitude)
 Certificates of Authorization Number: 9465
 AL QUATRONE P.E. # 52141

REVISIONS:

03-30-2021

03-19-2024

HICKS DRAFTING & DESIGN
 4216 5TH STREET W
 LEHIGH ACRES FL 33971
 CELL: (239) 462-2734
 E-MAIL: DHICKS922@AOL.COM

BUILDER: HABITAT FOR HUMANITY
 3 BEDROOM 2 BATH HOME / 160 MPH WIND LOADING
 PALMERA 1-A HIP MODEL / LEFT HAND GARAGE MONO FOOTER / 2023 CODE / 10 1/2" CANT

NEW RESIDENCE FOR:
 LOT: / BLOCK- / UNIT- / RANGE-
 SECTION: / TOWNSHIP- / RANGE-
 STRAP#:
 ADDRESS:

DRAWN BY:
 DAVID HICKS

DATE: 03-12-2021

SCALE: 1/4"=10"

JOB#: 2024-032

SHEET
 1 OF 6 SHEET

MASTER PLAN
 I AL QUATRONE APPROVE OF REPETITIVE USE OF PLANS FOR PERMITTING
 PALMERA 1-A HIP MODEL / LEFT HAND GARAGE MONO FOOTER / 2023 CODE / 10 1/2" CANT
 03-19-2024 REVISION

PALMERA 1B GABLE WALL SCHEDULE			
WALL#	LENGTH	EXTERIOR OR INTERIOR	NOTES
1	11'-7"	EXTERIOR	2 X 4 SYP #2 WALL
2	4'-0"	EXTERIOR	2 X 4 SYP #2 WALL
3	4'-8"	EXTERIOR	2 X 4 SYP #2 WALL
4	11'-8-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
5	13'-0"	EXTERIOR	2 X 4 SYP #2 WALL
6	10'-4"	EXTERIOR	2 X 4 SYP #2 WALL
7	13'-3-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
8	11'-1-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
9	11'-2-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
10	12'-4"	EXTERIOR	2 X 4 SYP #2 WALL
11A	12'-10"	EXTERIOR	2 X 4 SYP #2 WALL
12A	11-10-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
13A	3'-4-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
14A	9'-0-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
15A	6'-2-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
16	11'-3-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
17	12'-9"	EXTERIOR	2 X 4 SYP #2 WALL
18	12'-11"	EXTERIOR	2 X 4 SYP #2 WALL
19	5'-4-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
20	4'-9"	EXTERIOR	2 X 4 SYP #2 WALL
21	8'-11"	EXTERIOR	2 X 4 SYP #2 WALL
22	8'-7"	EXTERIOR	2 X 4 SYP #2 WALL
23			
24			
25			
26			
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29			
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42			
43			
44			
45			
46			
47			
48			
49			
50	9'-1"	INTERIOR	2 X 4 SYP WALL
51	4'-1-1/2"	INTERIOR	2 X 4 SYP WALL
52	3'-1-1/2"	INTERIOR	2 X 4 SYP WALL
53	4'-1-1/2"	INTERIOR	2 X 4 SYP WALL
54	6'-10-1/2"	INTERIOR	2 X 4 SYP WALL
55	2'-9-1/2"	INTERIOR	2 X 4 SYP WALL
56	7'-7"	INTERIOR	2 X 4 SYP WALL
57	4'-1-1/2"	INTERIOR	2 X 4 SYP WALL
58	4'-5"	INTERIOR	2 X 4 SYP WALL
59	5'-1-1/2"	INTERIOR	2 X 4 SYP WALL
60	2'-9-1/2"	INTERIOR	2 X 4 SYP WALL
61	6'-4-1/2"	INTERIOR	2 X 6 SYP #2 PLUMBING (WAS 2 X 6)
62	7'-4"	INTERIOR	2 X 4 SYP #2 PLUMBING (WAS 2 X 6)
63	3'-8"	INTERIOR	2 X 4 SYP WALL
64	10'-10"	INTERIOR	2 X 4 SYP WALL
65	11'-3-1/2"	INTERIOR	2 X 4 SYP WALL
66	4'-7"	INTERIOR	2 X 4 SYP WALL
67	4'-5-1/2"	INTERIOR	2 X 4 SYP WALL
68	4'-5-1/2"	INTERIOR	2 X 4 SYP WALL
69	11'-3-1/2"	INTERIOR	2 X 4 SYP WALL
70	10'-1"	INTERIOR	2 X 4 SYP WALL
71	2'-8-1/2"	INTERIOR	2 X 4 SYP WALL (WAS 2 X 6)
72	5'-10"	INTERIOR	2 X 4 SYP WALL
73A	1'-5"	INTERIOR	2 X 4 SYP WALL
74A	3'-4-1/2"	INTERIOR	2 X 4 SYP WALL
75	7'-6"	INTERIOR	2 X 4 SYP #2 PLUMBING (WAS 2 X 6)
76	4'-1"	INTERIOR	2 X 4 SYP #2 WALL
77	2'-4-1/2"	INTERIOR	2 X 4 SYP #2 WALL
78			
79			
80			

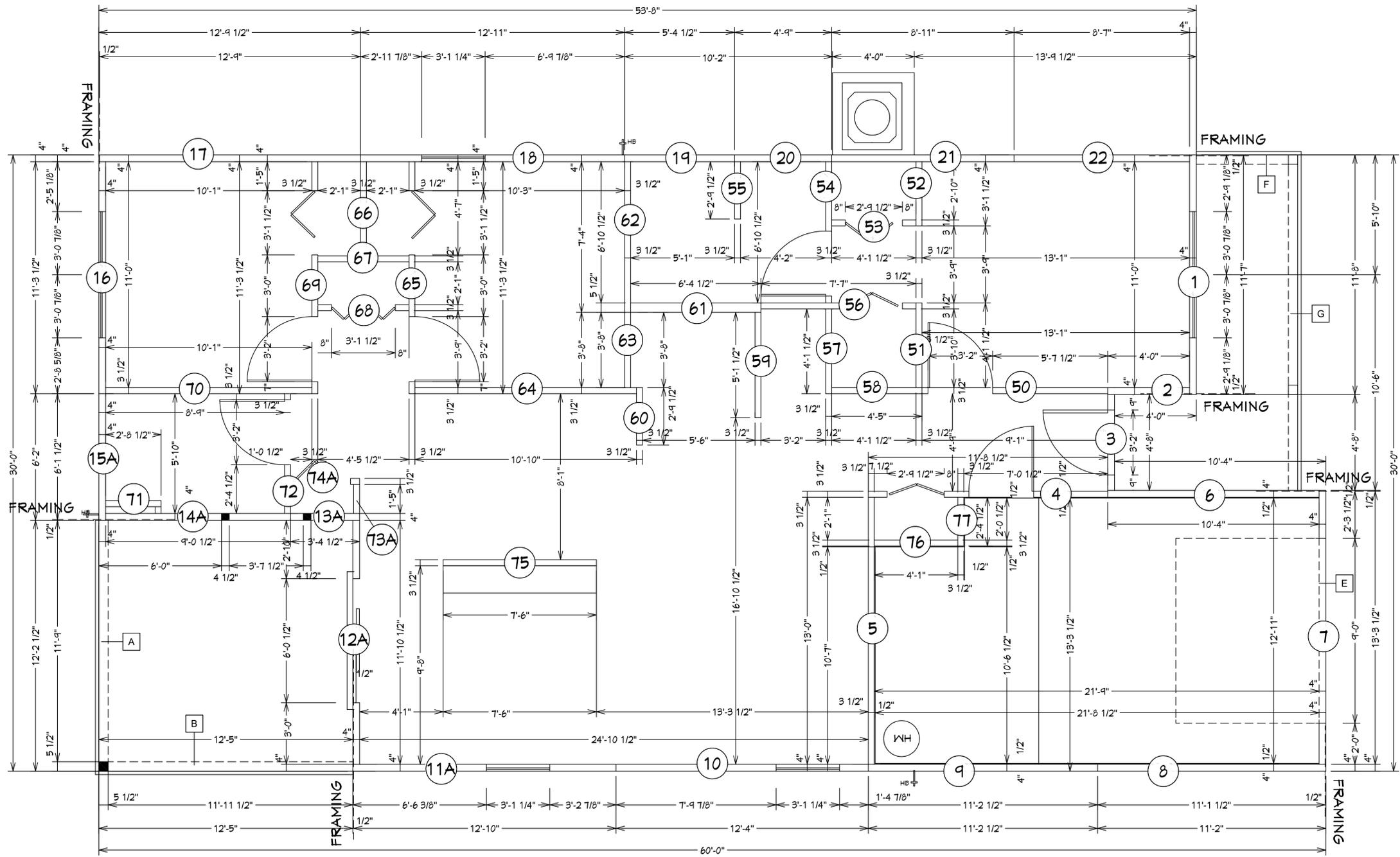
NOTE: ALL DIMENSIONS AS PER BUILDER

PALMERA 1B MODEL LVL BEAM SCHEDULE		
BEAM #	LENGTH	BEAM TYPE
A	12'-6-1/2"	(2) PLY 1 3/4" X 11 7/8" LVL BEAM
B	12'-9"	(2) PLY 1 3/4" X 11 7/8" LVL BEAM
C		
D		

PALMERA 1B MODEL 2 X 12 SYP. BEAM SCHEDULE		
BEAM #	LENGTH	BEAM TYPE
E	9'-8"	(2) 2 X 12 SYP W/ 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)
F	5'-4"	(2) 2 X 12 SYP W/ 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)
G	16'-8"	(2) 2 X 12 SYP W/ 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)
H		

R.O. OPENINGS FOR DOORS AND WINDOWS

- (2) 3068 EXTERIOR SLIDING GLASS DOORS T2 1/2" X 81 3/8"
- 3068 EXTERIOR DOOR 38" X 81 3/8"
- 3068 INTERIOR DOOR 38" X 81"
- 2068 BI-FOLD DOOR 25 1/2" X 80"
- 2868 BI-FOLD DOOR 33 1/2" X 80"
- 3068 BI-FOLD DOOR 37 1/2" X 80"
- 6068 BI-FOLD DOOR 73 1/2" X 80"
- 5H-25 SINGLE HUNG WINDOW 37 1/4" X 62 3/4"
- (2) 5H-25 SINGLE HUNG WINDOW 73 3/4" X 62 3/4"



NOTE: EXTERIOR WOOD WALLS ARE 3 1/2" WIDE WITH 1/2" PLYWOOD. (4" TOTAL) UNLESS NOTED DIFFERENT. INTERIOR WOOD WALLS ARE 3 1/2" & 5 1/2" WIDE WOOD WALLS UNLESS NOTED DIFFERENT.

INTERIOR & EXTERIOR WALL FRAMING PLAN
SCALE: N.T.S.

Quatrone & Associates, Inc.
 Engineers, Planners, & Development Consultants
 4501 Valencia Shoremaker Blvd. Fort Myers, FL 33916 (813) 956-5222 QUATCNET
 Certificates of Authorization Number: 9465
 AL QUATTRONE P.E. # 52141

COMPLIANCE STATEMENT
 THESE PLANS HAVE BEEN DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AND THE DESIGN PARAMETERS FOR THE (S) SECTION OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE CHAPTER 9.10 GENERAL AND SECTION 1603 OF THE (S) EDITION OF THE 2023 FLORIDA BUILDING CODE.

REVISIONS:
 03-30-2021
 03-19-2024

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 4216 5TH STREET W
 LEHIGH ACRES FL 33971
 CELL: (239) 462-2734
 E-MAIL: DHICKS922@AOL.COM

PALMERA 1-A HIP MODEL / LEFT HAND GARAGE MONO FOOTER / 2023 CODE / 10 1/2" CANT

BUILDER: HABITAT FOR HUMANITY
 3 BEDROOM 2 BATH HOME / 160 MPH WIND LOADING

NEW RESIDENCE FOR:
 LOT: / BLOCK: / UNIT: / RANGE:
 SECTION: / TOWNSHIP: / ADDRESS:
 STRAP#

03-19-2024 REVISION

DRAWN BY:
 DAVID HICKS

DATE: 03-12-2021

SCALE: 1/4"=10"

JOB#: 2024-032

SHEET
 SH-1 OF SH-1 SHEET