

R703.4 Flashing.

Approved metal flashing, vinyl flashing, self-adhered membranes and mechanically attached flexible flashing shall be applied shingle-fashion or in accordance with the manufacturer's instructions. Metal flashing shall be corrosion resistant. Fluid-applied membranes used as flashing shall be applied in accordance with the manufacturer's instructions. All flashing shall be applied in a manner to prevent the entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. All exterior fenestration products shall be sealed at the juncture with the building wall with a sealant complying with AAMA 800 or ASTM C920 Class 25 Grade NS or greater for proper joint expansion and contraction, ASTM C1281, AAMA 812, or other approved standard as appropriate for the type of sealant. Fluid-applied membranes used as flashing in exterior walls shall comply with AAMA 714. The flashing shall extend to the surface of the exterior wall finish. Approved flashings shall be installed at the following locations:

1.Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier complying with Section 703.2 for subsequent drainage. Mechanically attached flexible flashings shall comply with AAMA 712. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following:

1.1. The fenestration manufacturer's installation and flashing instructions, or for applications not addressed in the fenestration manufacturer's instructions, in accordance with the flashing or water-resistive barrier manufacturer's instructions. Where flashing instructions or details are not provided, pan flashing shall be installed at the sill of exterior window and door openings. Pan flashing shall be sealed or sloped in such a manner as to direct water to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage. Openings using pan flashing shall incorporate flashing or protection at the head and sides.

1.2.In accordance with the flashing design or method of a registered design professional.

1.3.In accordance with other approved methods.

1.4In accordance with FMA/AAMA 100, FMA/AAMA 200, FMA/MDMA 250, FMA/AAMA/MDMA 300 or FMA/AAMA/MDMA 400, or FMA/AAMA/MDMA 2710.

2.At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.

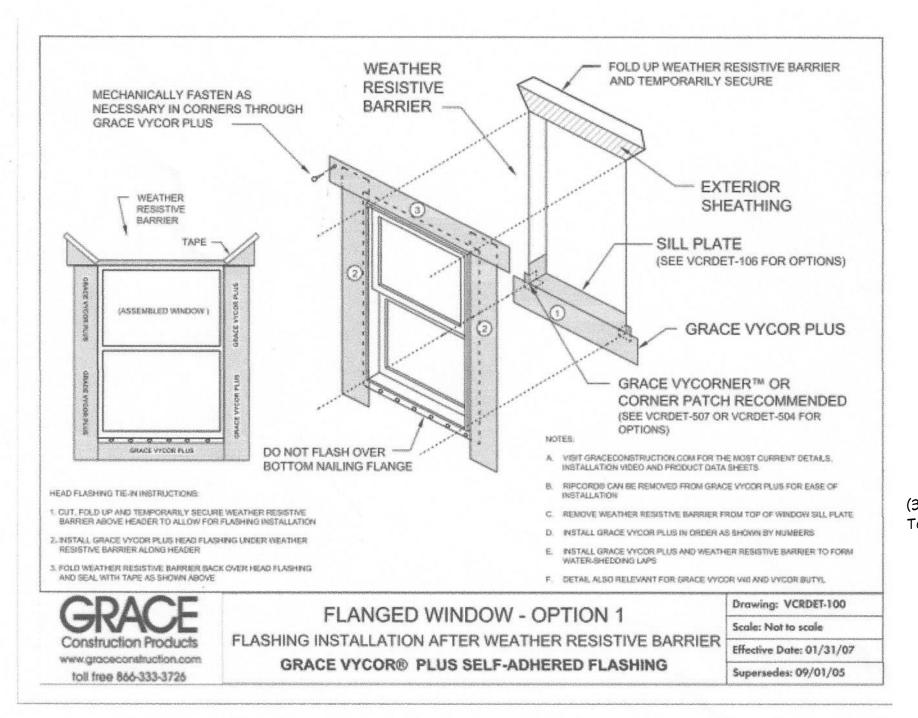
3.Under and at the ends of masonry, wood or metal copings and sills.

4. Continuously above all projecting wood trim.

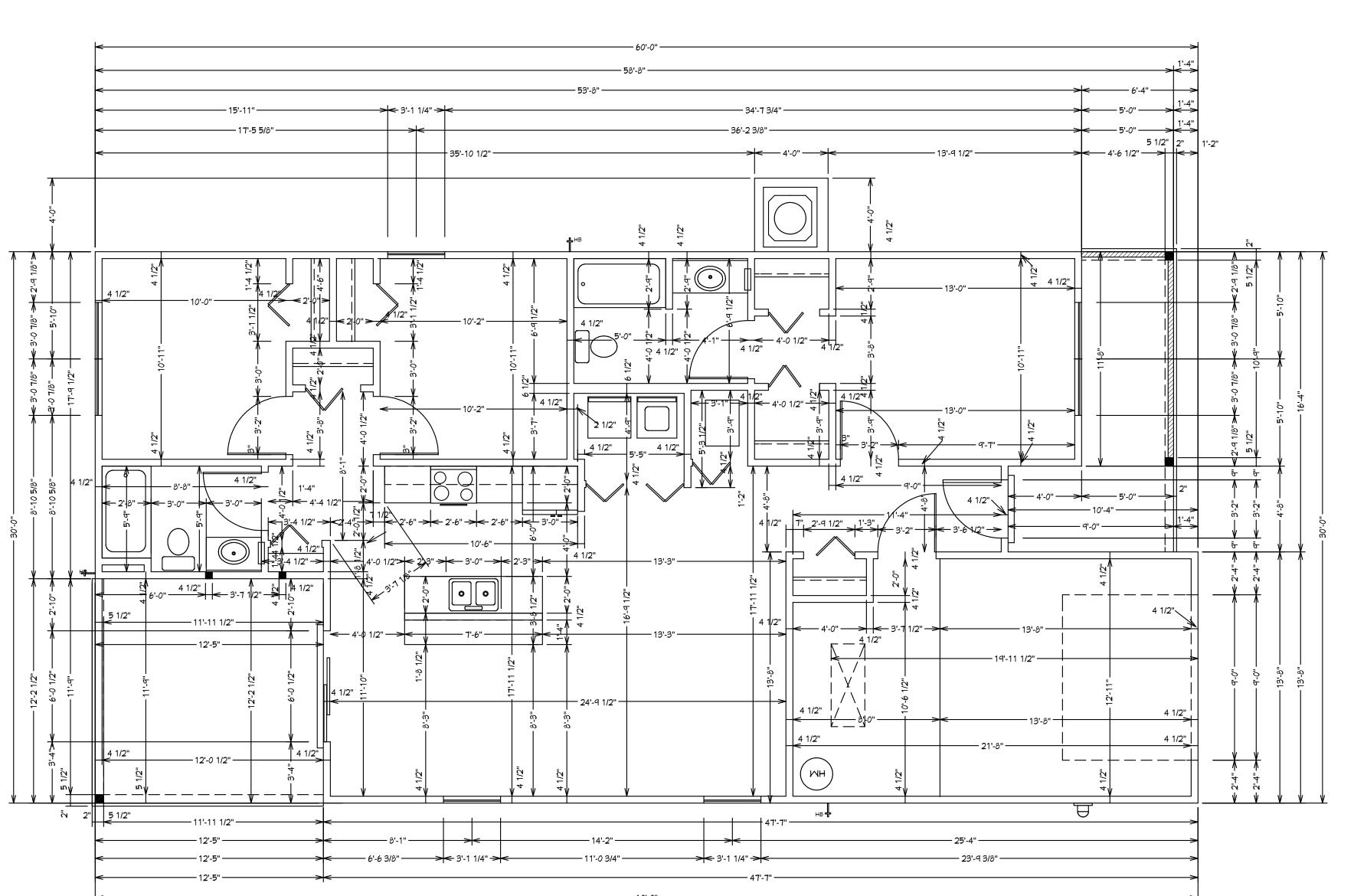
5. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.

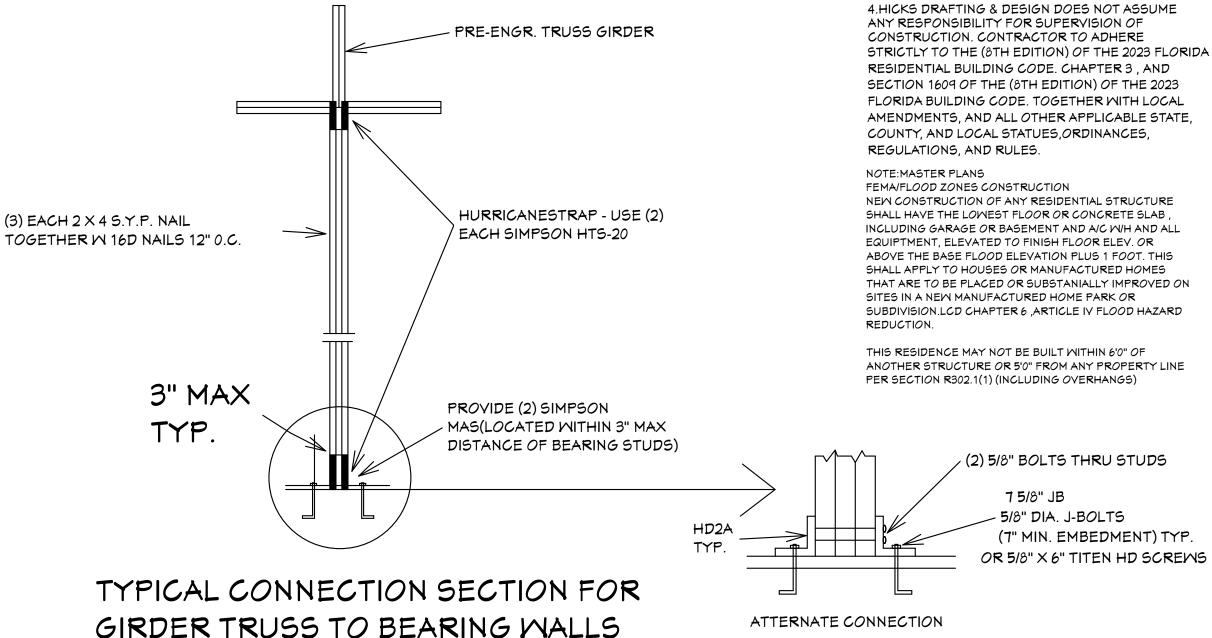
6.At wall and roof intersections.

7.At built-in gutters.



PAN FLASHING UNDER WINDOWS AND DOORS ON FRAME CONSTRUCTION NEED TO COMPLY WITH AAMA711 IF SELF-ADHERED MEMBRANES ARE USED AS FLASHING R703.4





WITH REACTIONS OVER #2000

SCALE: 1/2"=1'0"

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL
DIMENSIONS PRIOR TO START OF
CONSTRUCTION.DIMENSIONS TAKE
PRECEDENCE OVER SCALED

PRIOR TO CONSTRUCTION.

2. MASONRY CONTRACTOR TO VERIFY

MASONRY OPENING DIMENSIONS FOR ALL

WINDOWS, SLIDING GLASS DOORS, & ENTRY

DOORS, AS SHOWN ON THESE PLANS, WITH

THE DOOR AND WINDOW MANUFACTURER

OMISSIONS EXIST IN THE DRAWINGS OR

3.IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS, AND/OR

OMISSIONS PRIOR TO CONSTRUCTION IF ANY ERRORS OR

SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS

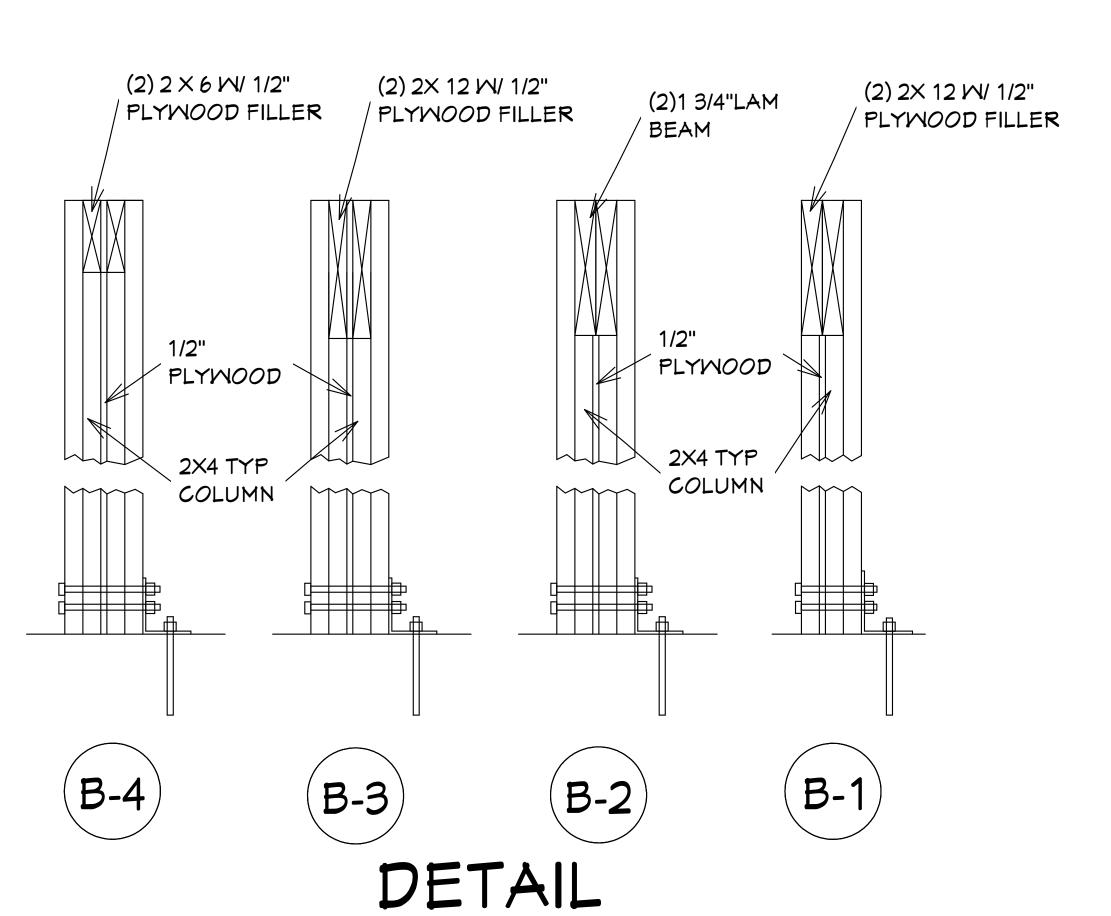
RECIEPT OF PLANS, AND PRIOR TO ANY CONSTRUCTION, OR

CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE

RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME.

DRAFTING & DESIGN IN WRITING WITHIN 10 DAYS OF

DIMENSIONS.



SCALE:1 1/2"=1'0"

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Quattrone Engineers, Planner

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REVISIONS:

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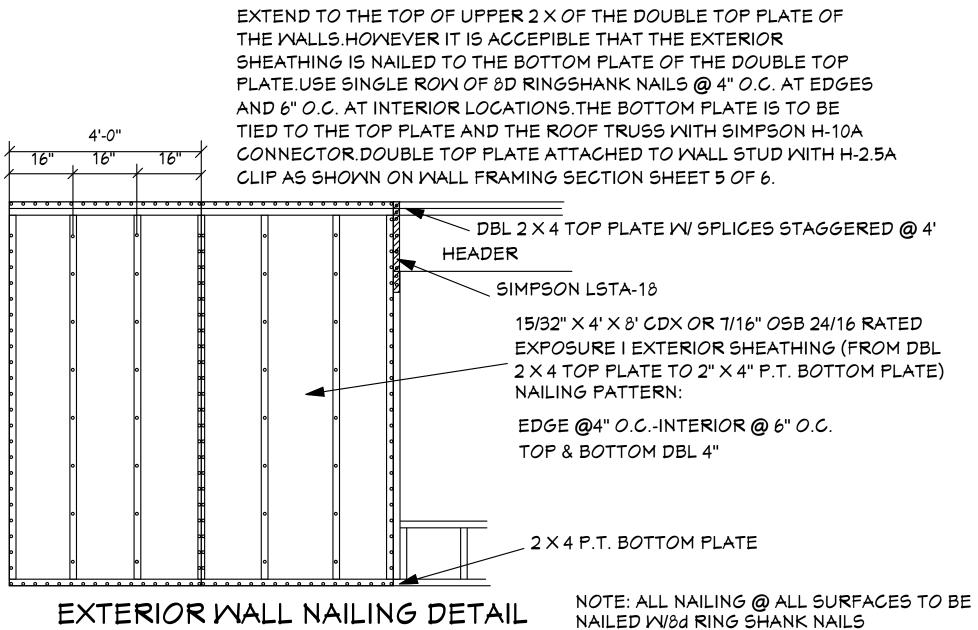
DRAWN BY:
DAYID HICKS

DATE: 03-12-2021

SCALE: 1/4"=1'0" JOB#:2024-032

SHEET 6

DIMENSIONAL FLOOR PLAN



SCALE: N.T.S.

DOOR LEGEND

|PKT= POCKET

BF= BI-FOLD

BP= BI-PASS

FR= FRENCH

MIR= MIRRORED

S.C.= SOLID CORE

O.H.G.D.=OVER HEAD GARAGE DOOR

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ROUGH

OPENINGS AND SIZES OF ALL DOORS AND WINDOWS

BEFORE STARTING CONSTRUCTION.

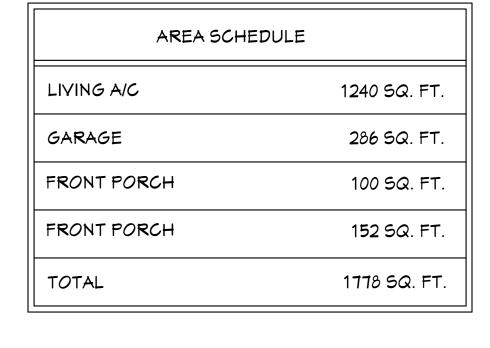
S.G.D.=SLIDING GLASS DOOR

FX= FIXED

3 | 0 | 6 | 8 | PKT

NOTE: THIS SECTION SHOWS FOR THE EXTERIOR SHEATHING TO

BOTTOM CHORD OF ALL TRUSSES IN LANAI AND ENTRY (AREAS EXPOSED TO WIND) IT IS ACCEPTABLE TO ADD SHEATHING IN THESE AREAS AND SHEATHING TO BE 1/2" EXTERIOR GRADE PLYMOOD OR 1/2" O.S.B. BOARD. ATTACH PLYMOOD OR O.S.B. BOARD TO BOTTOM CHORDS OF ROOF TRUSSES WITH 10d NAILS AT 4" O.C. AT EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS. IT IS ACCEPTABLE TO COVER PLYMOOD WITH SOLID VINYL SOFFIT FL-16503.2.ATTACH SOLID VINYL SOFFIT TO PLYWOOD OR O.S.B. BOARD WITH 16 GA X 7/16" WIDTH CROWN STAPLE 5/8" MIN LENGTH @ 12" O.C. SOLID VINYL SOFFIT MEETS REQUIREMENTS OF THE 8TH EDITION OF THE 2023 F.R.B.C.



HURRICANE CLIP

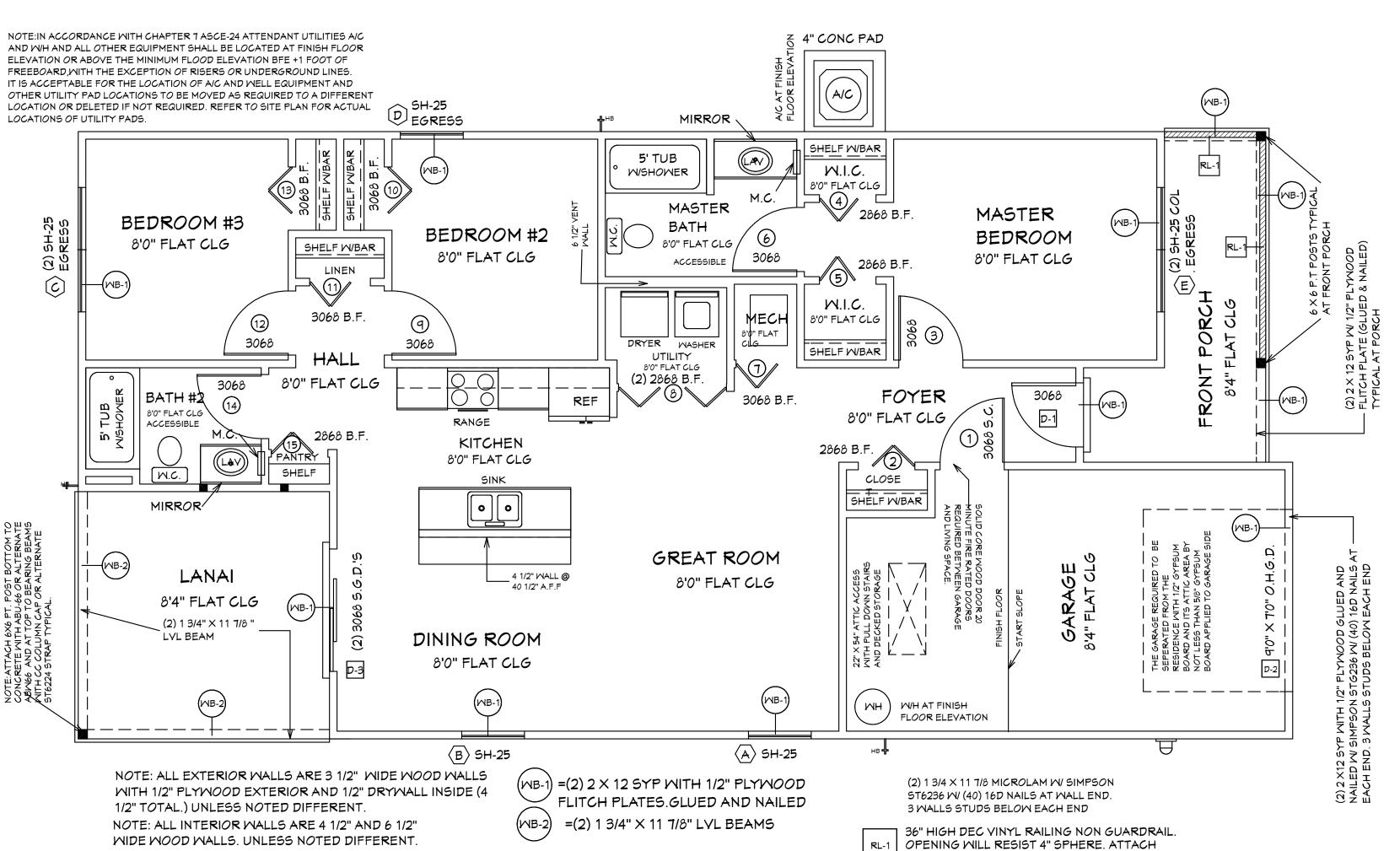
@ EXT. BEARING WALL

Simpson Strong-Tie

H<sub>10</sub>A

PER MANUFACTURES SPECIFICATIONS.

NOTED FLOOR PLAN

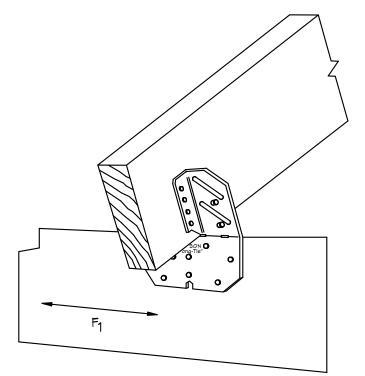


NOTE: ATTACH 6X6 PT. POST BOTTOM TO CONCRETE

BEARING BEAMS WITH CC COLUMN CAP OR

ALTERNATE ST6224 STRAP TYPICAL.

WITH ABU-66 OR ALTERNATE ABM66 AND AT TOP TO



# Simpson Strong-Tie H<sub>10</sub>A

HURRICANE CLIP @ EXT. BEARING MD. BEAM

2	
4	

MINDOM / DOOR

APPROVAL

DESIGNATION / ENTITY

PRODUCT

	INTERIOR DOOR SCHEDULE										
ם	QTY.	ROOM	SIZE	MANUF	DESIGNATION	NOTES					
(-)	1	GARAGE	3068 S.C.			SOLID CORE					
(N	1	FOYER	2868 B.F.								
<u>എ</u>	1	MASTER BED	3068								
4)	1	MASTER MIC	2868 B.F.								
5	1	MASTER MIC	2868 B.F.								
6	1	MASTER BATH	3068								
1	1	MECH	3068 B.F.								
8	1	UTILITY ROOM	(2) 2868 B.F.								
9	1	BEDROOM#2	3068								
10	1	BEDROOM#2	3068 B.F.								
11)	1	HALL	3068 B.F.								
12)	1	BEDROOM#3	3068								
13)	1	BEDROOM#3	3068 B.F.								
14)	1	BATH #2	3068								
15)	1	PANTRY	2868 B.F.								

PRODUCT SCHEDULE

DOOR SCHEDULE

"WINDOW SCHEDULE

PER MFR. | 5 | 26.40/-34.50 |

72 1/2" X 81 3/8" | PER MFR. | 5 | 26.40/-34.50 |

37 1/4" X 62 3/4" | PER MFR. | 4 | 27.66/-30.00 |

*ROOF COVERING MATERIAL* 

°MANUFACTURER

APPROVAL SHEETS

BUILDER TO VERIFY ALL ROUGH OPENINGS FOR

WINDOWS PRIOR TO START OF CONSTRUCTION.

REFER TO ATTACHED ENERGY CALCULATIONS AND

ATTACHED INFORMATION FROM WINDOW AND DOOR

ALL DOORS, SLIDING GLASS DOORS, AND

°MANUFACTURER

°IMPACT RESISTANT COVERING MATERIAL

**5** 24.72/-31.20

27.66/-30.00

27.66/-30.00

4 26.40/-28.74

PER MFR. | 5 | 26.40/-34.50 |

R.O. DOOR SIZE

R.O. WINDOW SIZE

9'-0" X **7**'-0"

37 1/4" × 62 3/4"

73 3/4" × 62 3/4"

37 1/4" × 62 3/4"

73 3/4" × 62 3/4"

CALL SIZE

D-2 9'0" X 7'0" O.H.G.D

(2) 3068 S.G.D'S

SH-25

(2) SH-25

(2) SH-25 COL

°TYPE

ASPHALT SHINGLES

HURRICANE PANELS

INSTALLATION NOTES:

1. MEANS OF EGRESS

2. TEMPERED WINDOW

3. O.H. GARAGE DOOR

MINDOMS SHGC= 0.24

ROOM NAME

**FOYER** 

GARAGE

DINING ROOM

GREAT ROOM

DINING ROOM

BEDROOM #3

BEDROOM #2

MASTER BEDROOM

GENERAL NOTES 1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

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3.IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS, AND/OR OMISSIONS PRIOR TO CONSTRUCTION IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECIEPT OF PLANS AND PRIOR TO ANY CONSTRUCTION OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME. 4.HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE. CHAPTER 3, AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE. TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE STATE, COUNTY, AND LOCAL STATUES, ORDINANCES, REGULATIONS, AND RULES.

NOTE: MASTER PLANS FEMA/FLOOD ZONES CONSTRUCTION NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND A/C W/H AND ALL EQUIPTMENT, ELEVATED TO FINISH FLOOR ELEV, OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION.LCD CHAPTER 6 ,ARTICLE IV FLOOD HAZARD

THIS RESIDENCE MAY NOT BE BUILT WITHIN 6'0" OF ANOTHER STRUCTURE OR 5'0" FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS)

IMPACT COVERING

PRODUCT APPROVAL

160 MPH (ULTIMATE DESIGN) = 124 (NOMINAL DESIGN)

COVERING

COVERING

COVERING

ENCLOSED STRUCTURE

INSTALLATION NOTES DEBRIS PROTECTION DEBRIS (WHERE APPLICABLE)

BELOM)

°APPROVED MODEL, STYLE, OR DESIGNATION

°APPROVED MODEL, STYLE, OR DESIGNATION

BUILDER TO SUPPLY PRODUCT APPROVAL

REFER TO PRODUCT APPROVAL SHEETS

M = MIDTH

H = HEIGHT

. ASPHALT SHINGLES SHALL BE IN COMPLIANCE WITH THE (8TH EDITION ) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE., SEC. R905.2 2. CLAY AND CONCRETE TILES SHALL BE IN COMPLIANCE WITH THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE., SEC. R905.3

3. METAL ROOFING SHALL BE IN COMPLIANCE WITH THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE., SEC. R905.10

Dx = DOOR DESIGNATION

SLx = SKYLITE

MX = MINDOM DESIGNATION

AND

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Quattrone Engineers, Planner

REVISIONS:

03-30-2021

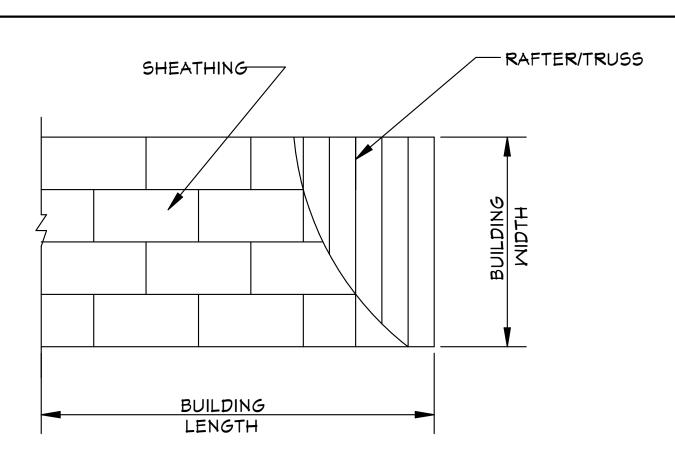
03-19-2024

DRAWN BY: DAVID HICKS DATE: 03-12-2021

SCALE: 1/4"=1'0"

JOB#:2024-032

(MHERE APPLICABLE) SLAZING OR COVERING MPACT APPROVED WITHOU URRICANE PANELS REFER T PRODUCT APPROVAL SHEETS RODUCT APPROVAL SHEET URRICANE PANELS REFER PRODUCT APPROVAL SHEETS IURRICANE PANELS REFER TO



# ROOF SHEATHING LAYOUT FOR HIP ROOFS

ONE WINDOW IN EACH BEDROOM SHALL PROVIDE 5.7 SQ. FT. OF EGRESS AREA MINIMUM CLEAR OPENING 20" M. AND 24" H.

MINIMUM 29" CLEAR OPENING IS REQUIRED FOR ACCESS TO ONE TOILET ROOM PER FLORIDA HANDICAP ACCESSEBILITY REQUIREMENTS.

ALL SMOKE DETECTOR CARBON MONOXIDE ALARM COMBOS TO BE INTERCONNECTED 110 YOLTS A.C.

LIGHTS IN CLOSETS TO COMPLY WITH SECT. 410-8 NEC.

PROVIDE GFI PER NEC 210-8

WATER CONSERVATION FIXTURES REQUIRED ORD#92-36

°NOTE: ALL BRANCH CIRCUITS THAT SUPPLY 125-250 VOLT SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE INSTALLED IN ALL ROOMS (INCLUDING BEDROOMS ) EXCEPT THE BATHROOMS AND UTILITY ROOM IN A DWELLING UNIT AND SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S).

KITCHEN, BATHROOMS, UTILITY ROOM, AND WET AREA'S SHALL BE PROTECTED BY G.F.C.I. OUTLETS.

**ROOF VENTILATION** R806.1Ventilation required.

SECTIONR806

Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilation openings shall have a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Ventilation openings having a least dimension larger than 1/4 inch (6.4 mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth, perforated vinul or similar material with openings having a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Openings in roof framing members shall conform to the requirements of Section R802.7. Required ventilation openings shall open directly to the outside air and shall be protected to prevent the entry of birds, rodents, snakes and other similar creatures. R806.2Minimum vent area.

The minimum net free ventilating area shall be 1/150 of the area of the vented space.

Exception: The minimum net free ventilation area shall be 1/300 of the vented space, provided that not less than 40 percent and not more than 50 percent of the required ventilating area is provided by ventilators located in the upper portion of the attic or rafter space. Upper ventilators shall be located not more than 3 feet (914 mm) below the ridge or highest point of the space, measured vertically. The balance of the required ventilation provided shall be located in the bottom one-third of the attic space. Where the location of wall or roof framing members conflicts with the installation of upper ventilators, installation more than 3 feet (914 mm) below the ridge or highest point of the space

R806.3Vent and insulation clearance. Where eave or cornice vents are installed, blocking, bridging and insulation shall not block the free flow of air. Not less than a 1-inch (25 mm) space shall be provided between the insulation and the roof sheathing and at the location of

R806.4Installation and weather protection.

Ventilators shall be installed in accordance with manufacturer's instructions. Installation of ventilators in roof systems shall be in accordance with the requirements of Section R903. Installation of ventilators in wall systems shall be in accordance with the requirements of Section R703.1

R806.5Unvented attic and unvented enclosed rafter assemblies. Unvented attics and unvented enclosed roof framing assemblies created by ceilings that are applied directly to the underside of the roof framing members and structural roof sheathing applied directly to the top of the roof framing members/rafters, shall be permitted where all the following conditions are met:

1. The unvented attic space is completely within the building thermal envelope.

2.No interior Class I vapor retarders are installed on the ceiling side (attic floor) of the unvented attic assembly or on the ceiling side of the unvented enclosed roof framing assembly.

3. Where wood shingles or shakes are used, a minimum 1/4-inch (6.4 mm) vented airspace separates the shingles or shakes and the roofing underlayment above the structural sheathing. 4.In Climate Zones 5, 6, 7 and  $\theta$ , any air-impermeable insulation shall be a Class II vapor retarder, or shall have a

Class II vapor retarder coating or covering in direct contact with the underside of the insulation. 5.Insulation shall comply with Item 5.3 and Item 5.1. As an alternative, where air-permeable insulation is located on top of the attic floor or on top of the attic ceiling, insulation shall comply with Item 5.3 and Item 5.2.

5.1.Item 5.1.1, 5.1.2, 5.1.3 or 5.1.4 shall be met, depending on the air permeability of the insulation directly under the structural roof sheathing. 5.1.1. Where only air-impermeable insulation is provided, it shall be applied in direct contact with the underside of

5.1.2. Where air-permeable insulation is provided inside the building thermal envelope, it shall be installed in accordance with Section 5.1.1. In addition to the air-permeable insulation installed directly below the structural sheathing, rigid board or sheet insulation shall be installed directly above the structural roof sheathing in

accordance with the R-values in Table R806.5 for condensation control. 5.1.3. Where both air-impermeable and air-permeable insulation are provided, the air-impermeable insulation shall be applied in direct contact with the underside of the structural roof sheathing in accordance with Item 5.1.1 and shall be in accordance with the R-values in Table R806.5 for condensation control. The air-permeable

insulation shall be installed directly under the air-impermeable insulation. 5.1.4. Alternatively, sufficient rigid board or sheet insulation shall be installed directly above the structural roof sheathing to maintain the monthly average temperature of the underside of the structural roof sheathing above 45°F (7°C). For calculation purposes, an interior air temperature of 68°F (20°C) is assumed and the exterior air temperature is assumed to be the monthly average outside air temperature of the three coldest months. 5.2.In Climate Zones 1, 2 and 3, air-permeable insulation installed in unvented attics on the top of the attic floor or

on top of the ceiling shall meet the following requirements: 5.2.1.An approved vapor diffusion port shall be installed not more than 12 inches (305 mm) from the highest point of the roof, measured vertically from the highest point of the roof to the lower edge of the port.

5.2.2. The port area shall be greater than or equal to 1:600 of the ceiling area. Where there are multiple ports in the attic, the sum of the port areas shall be greater than or equal to the area requirement. 5.2.3. The vapor-permeable membrane in the vapor diffusion port shall have a vapor permeance rating of greater

than or equal to 20 perms when tested in accordance with Procedure A of ASTM E96. 5.2.4. The vapor diffusion port shall serve as an air barrier between the attic and the exterior of the building. 5.2.5.The vapor diffusion port shall protect the attic against the entrance of rain and snow.

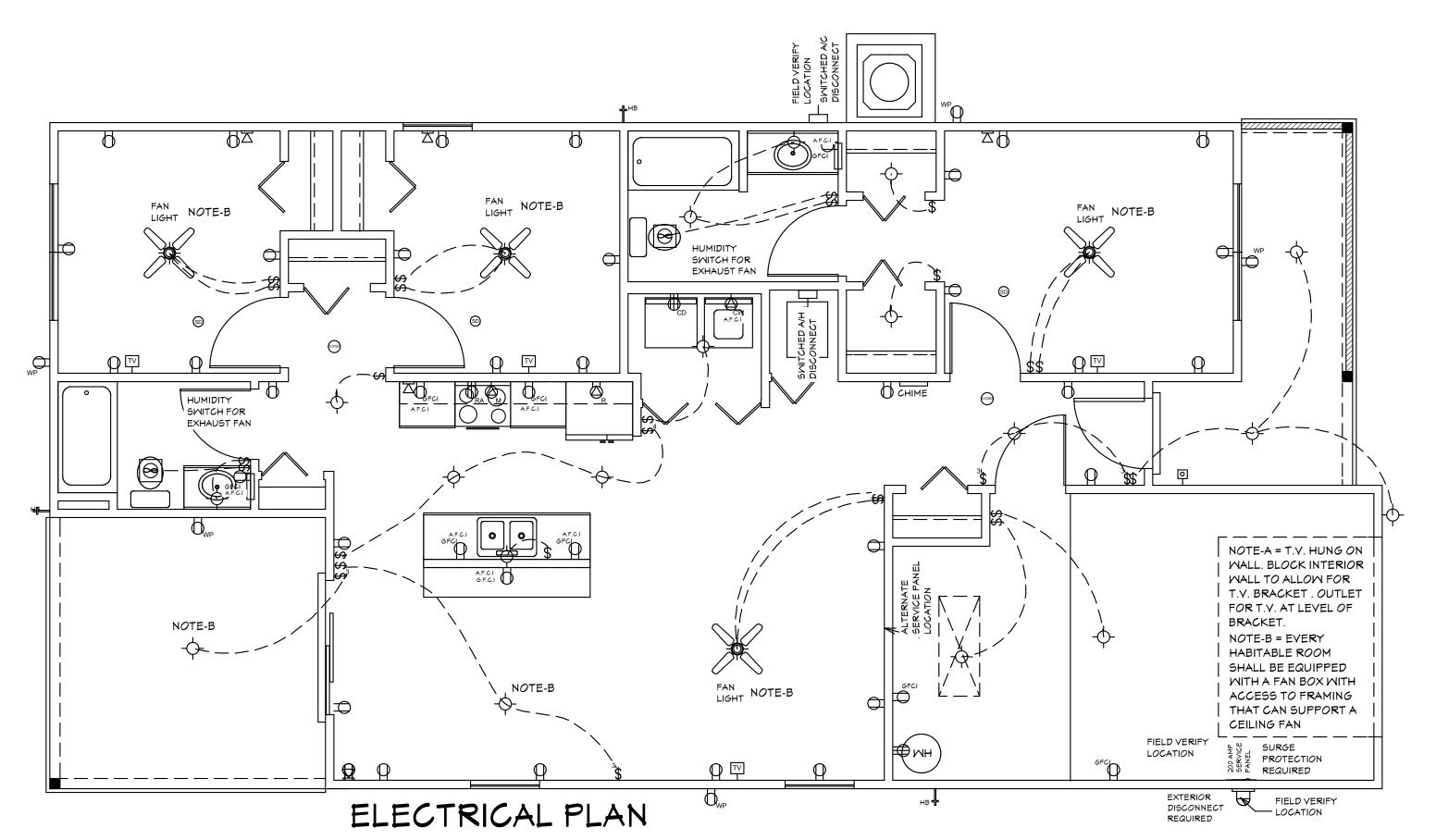
5.3. Where preformed insulation board is used as the air-impermeable insulation layer, it shall be sealed at the perimeter of each individual sheet interior surface to form a continuous layer.

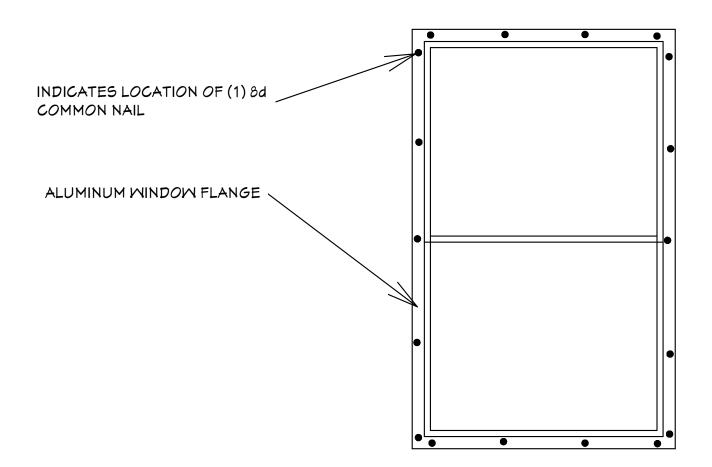
THE ROOF VENTILATION MUST MEET ALL REQUIREMENTS OF SECTION R806 ROOF VENTILATION SHOWN ABOVE. R806.2 MINIMUM AREA CALCULATIONS: THE TOTAL NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 300 OF THE AREA OF THE SPACE

1778 SQ FT TOTAL ATTIC AREA TO BE VENTILATED 1778 SQ FT DIVIDED BY 300 SQ FT = 5.92 SQ FT TOTAL VENTILATION REQUIRED.

CONVERT TO SQ IN.:5.92 SQ FT X 144 =852.48 SQ IN. 852.48 SQ IN. DIVIDED BY 60% = 511.48 SQ IN. AT SOFFITS AND 40% 340.99 SQ IN. AT RIDGE VENTS OR OFF RIDGE (COBRA RIDGE VENT 3 FL#-6267 R17) PROVIDES 18 SQ IN PER LINEAL FT OF NET FREE VENTILATING AREA.

752.40 SQ IN. TOTAL SUPPLIED THAT MEETS THE REQUIREMENTS FOR SOFFIT VENTILATIONS. FL-16503.2 VINYL SOFFIT 12" TRIPLE 4 FULL O VENT ECO (NO. 0639) 4.18 SQ IN PER SQ F1





### TYPICAL MINDOM INSTALLATION DETAIL

EACH END.

E	LECTRICAL LEGEND
SYMBOL	DESCRIPTION
AV Control A	Audio Video: Control Panel, Switch
$\Box$	DENOTES WALL OUTLET TAMPER RESISTENT
9 0 0 0	DENOTES GFCI WALL OUTLET
<u>₹</u>	DENOTES WATER PROOF WALL OUTLET
$\Rightarrow$	DENOTES 220 VOLT WALL OUTLET
$\bigcirc$	DENOTES FLOOR OUTLET
	DENOTES COVERED FLOOR OUTLET
-[2]	DENOTES T.V OUTLET
- 0	DENOTES DOOR BELL
	DENOTES PHONE OUTLET
-(F)	DENOTES THEMOSTAT
	DENOTES 200 AMP SERVICE BOX
₩	DENOTES WALL SWITCH
₩"	DENOTES 3 WAY SMITCH
₩,	DENOTES 4 WAY SMITCH
₩.	DENOTES 5 WAY SWITCH
<b>₩</b>	DENOTES DIMMER SMITCH
₩ ₹	DENOTES WATER PROOF SWITCH
	DENOTES CEILING OR WALL FIXTURE
	DENOTES FLOOD LIGHTS
-R-	DENOTES RECESS FIXTURE
	DENOTES FLOR LIGHT
$\Theta$	DENOTES EXHAUST FAN
SD	DENOTES SMOKE DETECTOR
COISD	DENOTES SMOKE DETECTOR CARBON MONOXIDE ALARM COMBO
	DENOTES JUNCTION BOX & COVER FOR FUTURE FAN
J	DENOTES JUNCTION BOX W/COYER
Z	DENOTES ZENFLEX LOW VOLTAGE LIGHTING SYSTEM
C5 C5/TV	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
$ \boxtimes $	Intercom
SP SP	Speakers: Ceiling Mounted, Wall Mounted
	240V Receptacle
-(T)	Thermostat
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture

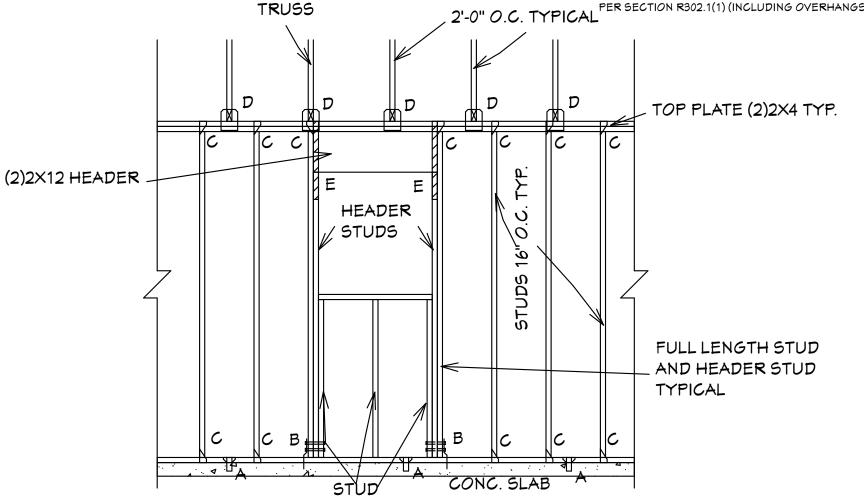
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SIMPSON MAS CONNECTOR WITH (6) 10d X 1 1/2" NAILS @ 2'-0" O.C. (PLATE TO SLAB) OR 1/2" J-BOLT (7" MINIMUM EMBEDMENT) AND 2" X 2' X X 1/8" PLATE MASHER @ 16" O.C. OR 1/2" X 6" TITEN HD SCREMS @ 16" O.C.

"B" SIMPSON HD-3B SHEARWALL HOLDOWN W/(2) 5/8" DIA, BOLTS PER STUD AND (1) 5/8" X 6" LONG EXPANSION BOLT

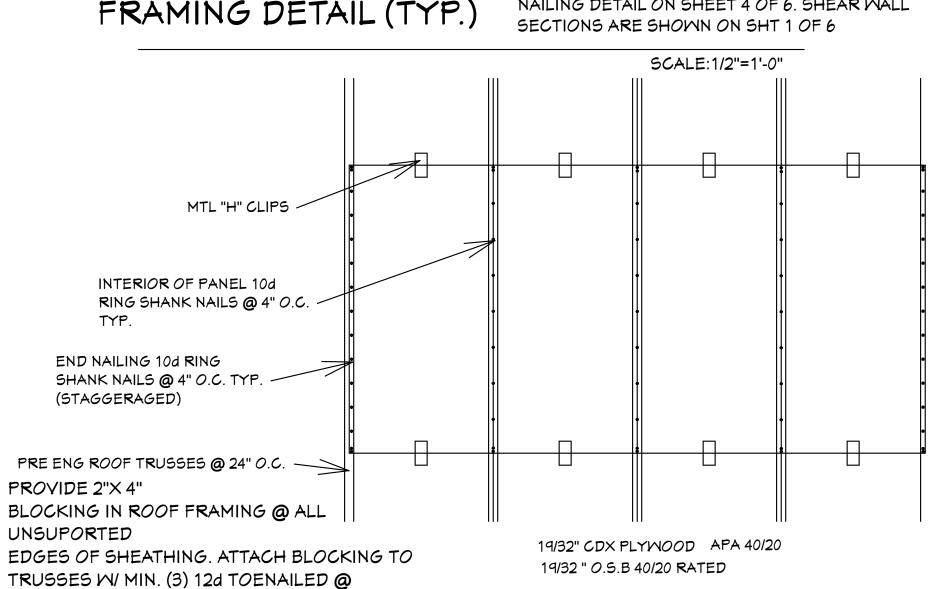
"C" SIMPSON H-2.5A OR H-3 OR EQUAL (STUD TO PLATE)

"D" SIMPSON H10A WITH (18) 10d X 1 1/2" NAILS OR EQUAL (TRUSS TO PLATE)

"E" SIMPSON LSTA-18 WITH (14) 10d NAILS

# FRAMING DETAIL (TYP.)

ALL EXTERIOR WALLS ARE SHEARWALLS PER FRAMING DETAIL SHEET 5 OF 6 & EXTERIOR WALL NAILING DETAIL ON SHEET 4 OF 6. SHEAR WALL



ROOF SHEATHING DETAIL

DATE: 03-12-2021

SHEET

Quattrone Engineers, Planner REVISIONS:

03-30-2021

03-19-2024

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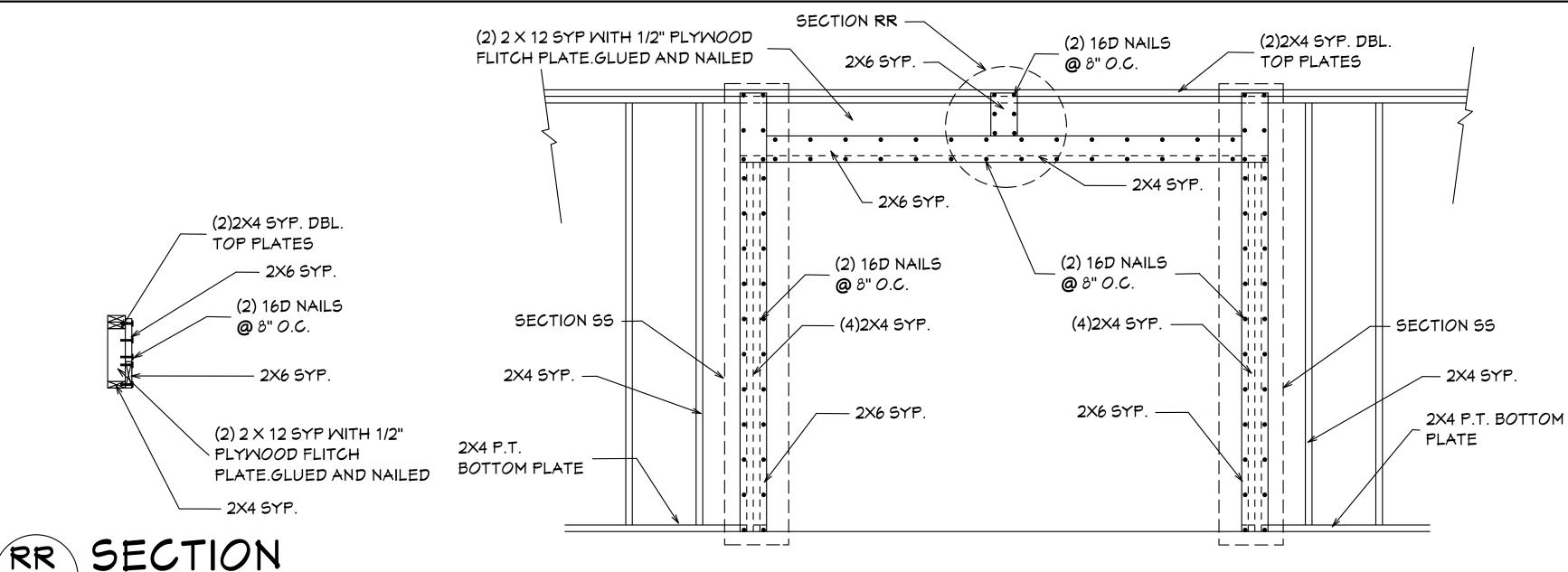
DRAWN BY:

DAYID HICKS

SCALE: 1/4"=1'0"

JOB#:2024-032

OF



OVERHEAD GARAGE DOOR BUCKING DETAIL

#### GENERAL

- 1. All wood construction shall comply with the latest NFPA and AITC Specifications and Recommendations.
- 2. Lumber standard shall be American Softwood Lumber Standard PS 20-70, S4S, 19%
- moisture or as required by structural design. 3. Structural lumber (headers, columns, exterior wall studs) to be Southern Pine No.
- 2 KD 15 with a Fb=1,300 PSI E=1,600,000 PSI, and Fv = 95 PSI. 4. Glue laminated timber shall conform with ASTM D-3737 and AITC 117. Roof beams shall be designated 24F-V1 or 24F-E1.
- 5. Plywood for sheathing shall be APA rated sheathing as per plans and shall bear the APA
- 6. Mood in contact with concrete, masonry and/or exposed to weather shall be protected or pressure treated in accordance with AITC-109.

#### EXTERIOR WALL FRAMING

- 1. Studs shall be placed with the wide face perpendicular to the wall.
- 2. Header Beams shall be provided and fixed in accordance with CHAPTER 6 of the 8th edition of the 2023 Residential Florida Building Code.
- 3. The minimum number of header studs supporting each end of a header beam shall be 1.
- 4. The minimum number of full-length wall studs at each end of a header beam shall be 1 for openings of 6 feet or less, and 2 for all other openings.
- 5. Uplift connectors shall be provided at the top and bottom of cripple studs, of header studs, and at least one wall stud at each side of opening.

## CONNECTIONS FOR EXTERIOR WALL FRAMING

- 1. Framing members in exterior wall systems shall be fastened together in accordance with the 8th edition of the 2023 RESIDENTIAL Edition of the Florida Building Code.
- 2. Uplift connectors shall be provided to resist the uplift loads.
- 3. Uplift load resistance shall be continuous from roof to foundation.
- 4. Studs shall be connected to plates and plates to floor framing with connectors designed, rated, and approved for each individual location and condition.

### EXTERIOR WALLS

- 1. Exterior wall segments shall not contain openings which when added together will exceed 144 sq in (1 sq ft) in any individual segment.
- 2. Minimum length of a shearwall segment shall be 2'-5".
- 3. Studs shall be doubled at each end of each shearwall segment
- 4. Joints shall be lap-spliced. Within the center third of a wall length, the minimum lap shall be 4 feet. Lap splices shall be connected with 14 16d common nails.

### MALL SHEATHING

- 1. Panels shall be 15/32" exposure 1 C-D sheathing grade plywood OR 7/16" OSB 24/16 RATED and shall be installed as follows.
- Panels shall be installed with face grain parallel to studs. All horizontal joints shall occur over framing and shall be attached per Standard
- Panels shall be attached to bottom plates and top member of the double top plate.
- Lowest plates shall be attached to foundation with bolts or connectors of sufficient
- capacity to resist the uplift forces developed in the plywood sheathed walls.
- Panel attachment to framing shall be as illustrated in the Detail Sheets.
- Where windows and doors interrupt plywood sheathing, framing anchors or connectors
- shall be compacted to 95% of AASHTO T-99. 9. Fill shall be placed and compacted in one foot lifts.

### CONCRETE FLOORS

. Concrete floors shall be cast in place.

Specifications and Recommendations.

2. Concrete shall have a minimum compressive strength of not less than 3,000 psi at 28 days. 3. The top of a monolithic slab-on-grade shall be at least 8 inches above finished grade.

GENERAL

1. This building/structure has been designed in accordance with the (8TH EDITION) OF THE 2023

OF THE 2023 FLORIDA BUILDING CODE for design pressures generated by 3 second gust.

edition of the 2023 Residential Edition of the Florida Building Code, have been performed.

administration, review and approval of all shop drawings, verification on-site of all

2. David Hicks, and HICKS DRAFTING & DESIGN have not been retained to provide,

Residential Edition of the Florida Building Code.CHAPTER 3 AND SECTION 1609 OF THE 8TH EDITION

design wind velocity of 160 mph, structual calculations, as necessary to confirm compliance with the 8th

nor is responsible for, the field supervision, inspection, or construction administration of this

project. The owner, or general contractor is responsible for: field supervision, construction

dimensions and elevations, and strict compliance with these construction documents as approved by Lee County drawn by David HIcks, and reviewed by ENGINEER OF RECORD

meeting the requirements of SSTD 12, ASTM 1886 and ASTM E 1996, or Mlami-Dade

4. All windows, doors and other such sustems, components and cladding shall be designed in

5. Contractor shall notify the owner in writing prior to construction of any discrepancy between

3. Nails, screws, or bolts shall be able to resist the forces specified in the 8th edition of the

dipped galvanized coated with a minimum of 1.8 oz per sa ft of steel meeting the

4. Metal plates, connectors, screws, bolts and nails exposed directly to the weather or subject

to salt corrosion in coastal areas shall be stainless steel, or hot dipped galvanized, after the

fastener or connector is fabricated, to form a zinc coating not less than 1 oz per sq ft. or hot

5. Unless otherwise stated, sizes given for nails are common wire nails. For example,  $\delta d = 2$ 

1/2 inches long × 0.131 inch diameter. See Table 12.3B, columns 2, 3, and 4 in the National

FOOTINGS AND FOUNDATIONS

GENERAL

to support safely the loads imposed as determined from the character of the soil.

3. Concrete shall have a minimum specified compressive strength of 3000 psi at 28 days. 4. Reinforcing Steel shall be minimum Grade 40 and identified in accordance with ASTM A

5. Minimum concrete cover over reinforcing bars shall be 3 inches. In narrow footings where

shall be rotated in the horizontal direction until the required concrete cover is achieved.

6. All concrete is to be mixed, transported, and placed in accordance with the latest ACI

there is insufficient concrete cover to accommodate a standard 90 degree hook, the hook

7. Foundations have been designed for an allowable soil bearing pressure of 2,000 PSF,

8. Provide granular fill, clay materials are unacceptable. Existing Soil under footing and slabs

. All exterior walls, bearing walls, and columns, shall be supported on continuous concrete footings,

accordance with CHAPTER 3 of the 8TH EDITION OF THE 2023 RESIDENTIAL Edition AND

three second gust design wind velocity of 160 mph. see "Design Parameters" for specific pressures.

accordance with the 8th edition of the 2023 RESIDENTIAL Edition of the Florida Building Code

SECTION 1609 of the 8TH EDITION OF THE 2023 Florida Code for design pressures generated by a

Exterior glazing shall be impact resistant or protected with an impact resistant covering

PA201, 202, and 203, meeting the requirements of the Large Missle Test.

shall be installed in accordance with the manufacturer's recommendations.

2. Where fasteners are not otherwise indicated, fasteners shall be provided in

plans and on-site dimensions and elevations.

2023 residential Florida Building Code, chapter 3

requirements of ASTM A 90 Triple Spot Test.

Design Specifications for Wood Construction.

2. Refer to standard details for typical foundation details.

FASTENERS AND CONNECTORS

1. Connectors, anchors, and other fastening devices

4. The slab shall be 4 inches thick.

615, A 616, A 617, or A 706.

- 5. The slab shall have 6×6 W2.9 × W2.9 welded wire fabric at mid-height
- 6. A double layer of welded wire fabric shall be provided around the perimeter of the slab of a distance of 3 ft. from the edge. See Standard Details.
- 7. Welded wire fabric shall conform to ASTM A-185 and free of oil and rust. It shall be installed in lengths as long as possible lapped a minimum of six inches.

- Flatwise blocking shall be used at all horizontal panel joints.

- shall be used to resist the appropriate uplift loads.

# ANCHOR DOWN CONNECTORS

- . Exterior walls require anchor downs to resist overturning moment.
- Two studs and anchor down are required at each end of each shearwall segment. 3. The anchor down shall be fastened through the doubled studs and to the construction below in accordance with the manufacturer's recommendations.

# ROOF SHEATHING

- 1. Roof sheathing shall be 19/32 inch Exposure 1 C-D sheathing grade pluwood OR 19/32" OSB
- 40/20 RATED (wood structural panels) or equivalent. 2. The sheathing shall be installed in accordance with Detail Sheets.
- 3. Long dimension shall be perpendicular to framing and end joints shall be staggered.



(2)2X4 SYP. DBL.

(2) 2 X 12 SYP WITH 1/2" PLYWOOD

FLITCH PLATE.GLUED AND NAILED

(2) #8 - 3" STAINLESS STEEL

SCREMS EACH HINGE

TOP PLATES

- 2X4 SYP.

– (4)2X4 SYP.

(2) 16D NAILS

@ 8" O.C.

2X6 SYP

**BOTTOM PLATE** 

SECTION

2X4 P.T.

NOTE: ADD BLOCKING AS REQUIRED FOR HANDI CAP GRAB BARS IN ALL MODELS VERIFY LOCATIONS OF BLOCKING BEFORE START OF CONSTRUCTION

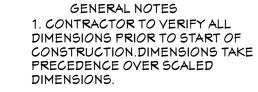
I AL QUATTRONE HAVE REVIEWED TRUSS LAYOUT AND THE TRUSS CONNECTOR SCHEDULE BASED ON TRUSS LAYOUT BY RAYMOND BUILDING SUPPLY / RBS 19083343M1 GL DATED: 01-19-2024 WITH 2023 CODE REVISION

UPLIFT EXCEEDING #1000	TRUSS IDENTIFICATION	MINDLOAD CONNECTORS	
1790	A-01	(2) HT5-20	
1094	A-03	HTS-20	
ALL OTHER T	RUSSES:		

ALL OTTILK TROOSES.												
WOOD FRAME	1000	H-10	(16)-8D × 1-1/2									
MASONRY												

- 1. INFORMATION ABOVE FROM TRUSS DESIGN WHICH WAS PREPARED BY RAYMOND BUILDING SUPPLY. FT MYERS, FL. TRUSS DESIGNATIONS CORRESPOND WITH RAYMOND DOCUMENT.
- 2. ALL ANCHORS SHOWN AS MFD. BY SIMPSON STRONG TIE OR EQUAL.
- 3. ALL LOADS IN POUNDS.
- 4. LOADS NOT SHOWN: LESS THAN 5K GRAVITY AND 1K UPLIFT.

TRUSS FASTENER REQUIREMENTS



2. MASONRY CONTRACTOR TO VERIFY MASONRY OPENING DIMENSIONS FOR ALL WINDOWS, SLIDING GLASS DOORS, & ENTRY DOORS, AS SHOWN ON THESE PLANS, WITH THE DOOR AND WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.

3.IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK THESE PLANS FOR DIMENSIONAL ERRORS, AND/OR OMISSIONS PRIOR TO CONSTRUCTION. IF ANY ERRORS OR OMISSIONS EXIST IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY HICKS DRAFTING & DESIGN, IN WRITING, WITHIN 10 DAYS OF RECIEPT OF PLANS, AND PRIOR TO ANY CONSTRUCTION, OR CONTRACTOR ASSUMES ALL THE RESPONSIBILITY FOR THE RESULTS AND ALL THE COSTS OF RECTIFYING THE SAME. 4.HICKS DRAFTING & DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR SUPERVISION OF CONSTRUCTION. CONTRACTOR TO ADHERE STRICTLY TO THE (8TH EDITION) OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE. CHAPTER 3, AND SECTION 1609 OF THE (8TH EDITION) OF THE 2023 FLORIDA BUILDING CODE. TOGETHER WITH LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE STATE, COUNTY, AND LOCAL STATUES, ORDINANCES, REGULATIONS, AND RULES.

FEMA/FLOOD ZONES CONSTRUCTION NEW CONSTRUCTION OF ANY RESIDENTIAL STRUCTURE SHALL HAVE THE LOWEST FLOOR OR CONCRETE SLAB, INCLUDING GARAGE OR BASEMENT AND A/C W/H AND ALL EQUIPTMENT, ELEVATED TO FINISH FLOOR ELEV. OR ABOVE THE BASE FLOOD ELEVATION PLUS 1 FOOT. THIS SHALL APPLY TO HOUSES OR MANUFACTURED HOMES THAT ARE TO BE PLACED OR SUBSTANIALLY IMPROVED ON SITES IN A NEW MANUFACTURED HOME PARK OR SUBDIVISION.LCD CHAPTER 6 ,ARTICLE IV FLOOD HAZARD

03-30-2021 THIS RESIDENCE MAY NOT BE BUILT WITHIN 6'0" OF

03-19-2024

 $\Omega \square$ 

REVISIONS:

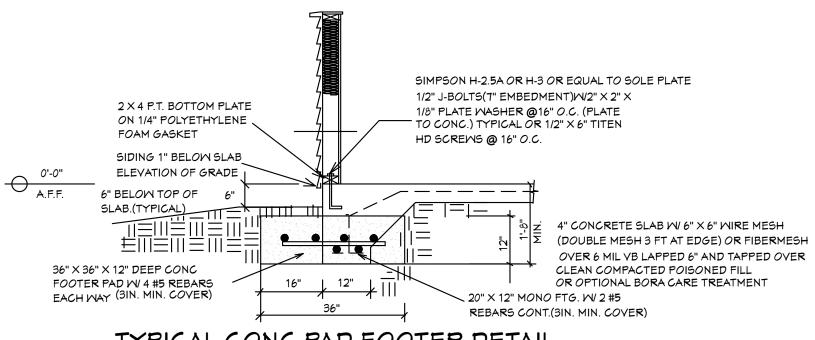
Inc.

sociates,

Quattrone
Engineers, Planner

ANOTHER STRUCTURE OR 5'0" FROM ANY PROPERTY LINE PER SECTION R302.1(1) (INCLUDING OVERHANGS) INDICATES LOCATION OF #8 3" STAINLESS STEEL SCREWS 0 (16" O.C. MAX)

# TYPICAL DOOR INSTALLATION DETAIL



TYPICAL CONC PAD FOOTER DETAIL

Rafter/Truss Spacing24 in. o.c.		MIND SPEED														
	115	mph	120	mph	130	mph	140	mph	150	mph	160	mph	170	mph	180	mph
	E	F	E	F	E	F	E	F	E	F	E	F	E	F	E	F
				E×	(posi	ire B										
Rafter/Truss SG = 0.42	6	6	6	6	6	6	6	6	6	6	4	4	4	4	4	4
Rafter/Truss SG = 0.49	6	12	6	12	6	6	6	6	6	6	6	6	6	6	6	6
	•			E×	posi	ire C						•			•	
Rafter/Truss SG = 0.42	6	6	6	6	6	6	4	4	4	4	4	4	3	3	3	3
Rafter/Truss SG = 0.49	6	6	6	6	6	6	6	6	6	6	6	6	4	4	4	4
	•	•		E×	posi	ire D				•				•		
Rafter/Truss SG = 0.42	6	6	6	6	4	4	4	4	4	4	3	3	3	3	3	3
Rafter/Truss SG = 0.49	6	6	6	6	6	6	6	6	4	4	4	4	4	4	4	4

F = Nail spacing along intermediate supports in the panel field (inches)

a. For sheathing located a minimum of 4 feet from the perimeter edge of the roof, including 4 feet on each side of ridges and hips, nail spacing is permitted to be 6 inches on center along panel edges and 6 inches on center along intermediate supports in the panel field.

b. Where rafter/truss spacing is less than 24 inches on center, roof sheathing fastening is permitted to be in accordance with the AWC WFCM or the AWC NDS.

R803.2.2Allowable spans The minimum thickness and span rating for wood structural panel roof sheathing shall not exceed the values set forth in Table R803.2.2. TABLE R803.2.2

INIMUM ROOF SHEATHING THICKNESS											
Rafter/Truss Spacing24 in. o.c.	MIND SPEED										
	115 mph	120 mph	130 mph	140 mph	150 mph	160 mph	170 mph	180 mph			
Minimum Sheathing Thickness, nches(Panel Span Rating) Exposure B	7/16(24/16)	7/16(24/16)	7/16(24/16)	7/16(24/16)	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)			
Minimum Sheathing Thickness, nches(Panel Span Rating) Exposure C	7/16(24/16)	7/16(24/16)	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	23/32(48/24)			
Minimum Sheathing Thickness, nches(Panel Span Rating) Exposure D	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	23/32(48/24)	23/32(48/24)			

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DRAWN BY: DAYID HICKS

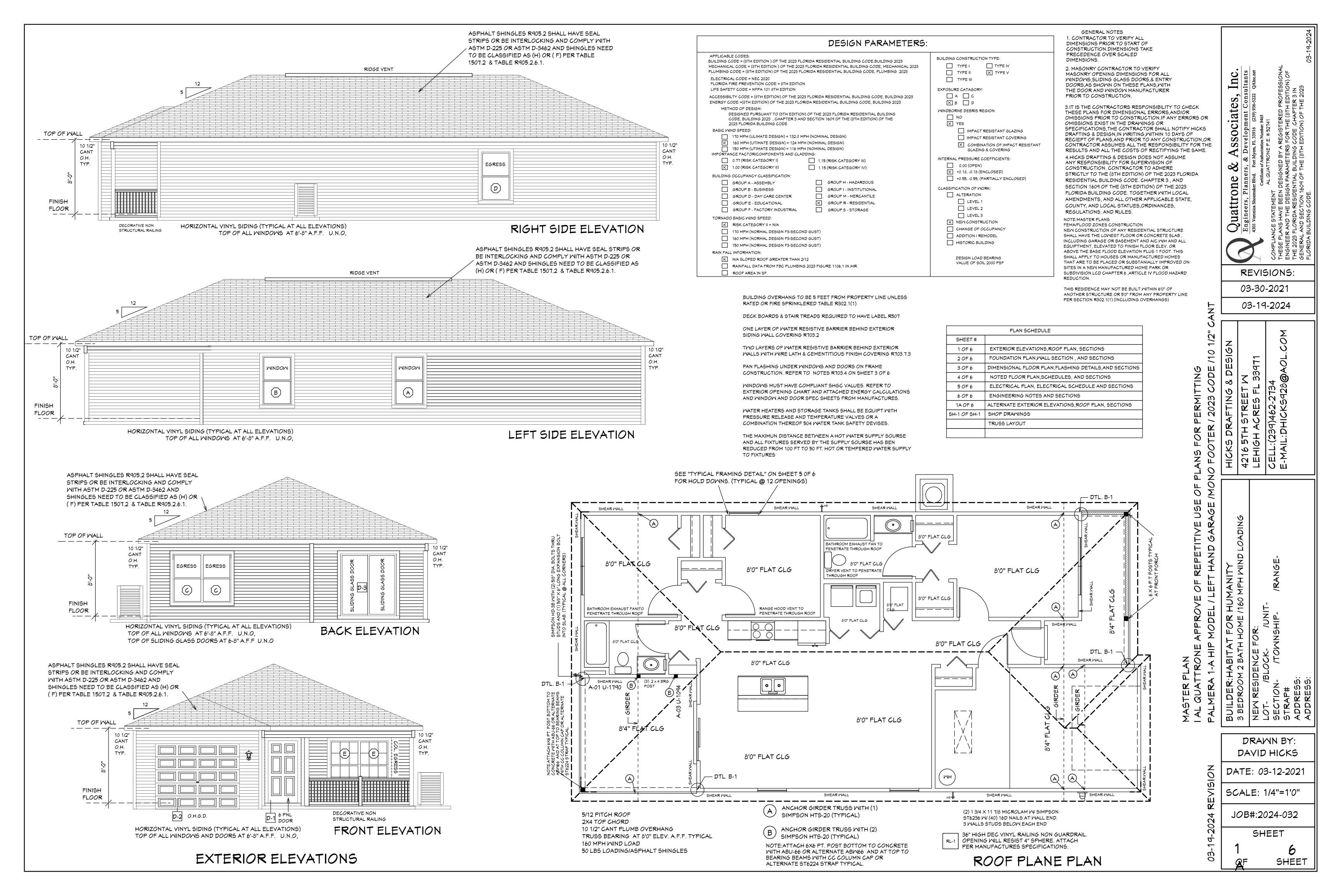
DATE: 03-12-2021

SCALE: 1/4"=1'0"

JOB#:2024-032

SHEET

OF SHEET



MALL#	LENGTH	EXTERIOR OR INTERIOR	NOTES
1	11'-7"	EXTERIOR	2 X 4 SYP #2 WALL
2	4'-0"	EXTERIOR	2 X 4 SYP #2 WALL
3	4'-8"	EXTERIOR	2 X 4 SYP #2 WALL
4	11'-8-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
5	13'-0"	EXTERIOR	2 X 4 SYP #2 WALL
6	10'-4"	EXTERIOR	2 X 4 SYP #2 WALL
7	13'-3-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
8	11'-1-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
9	11'-2-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
10	12'-4"	EXTERIOR	2 X 4 SYP #2 WALL
(1A)	12'-10"	EXTERIOR	2 X 4 SYP #2 MALL
(12A*)	11-10-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
(13A*)	3'-4-1/2"	EXTERIOR	2 X 4 SYP #2 MALL
(14A*)	9-0-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
(15A*)	6'-2-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
(16)	11'-3-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
17)	12'-9"	EXTERIOR	2 X 4 SYP #2 WALL
(18)	12'-11"	EXTERIOR	2 X 4 SYP #2 WALL
(19)	5'-4-1/2"	EXTERIOR	2 X 4 SYP #2 WALL
(20)	4'-9"	EXTERIOR	2 X 4 SYP #2 WALL PLUMBING (WAS 2 X
(21)	8'-11"	EXTERIOR	2 X 4 SYP #2 WALL
(22)	8'-7"	EXTERIOR	2 X 4 SYP #2 WALL
	0-1		2 / 4 5     #2   VALL
(50)	9'-1"	INTERIOR	2 V 4 GREINIALI
(51)	4'-1-1/2"	INTERIOR	2 X 4 SPF WALL
$\stackrel{\smile}{\sim}$	3'-1-1/2"	INTERIOR	2 X 4 SPF WALL
(52)		INTERIOR	2 X 4 SPF WALL
(53)	4'-1 1/2"	INTERIOR	2 X 4 SPF WALL
(54)	6'-10-1/2"	INTERIOR	2 X 4 SPF WALL
(55)	2'-9-1/2"		2 X 4 SPF WALL
(56)	7'-7"	INTERIOR	2 X 4 SPF WALL
(57)	4'-1-1/2"	INTERIOR	2 X 4 SPF WALL
(58)	4'-5"	INTERIOR	2 X 4 SPF WALL
(59)	5'-1-1/2"	INTERIOR	2 X 4 SPF WALL
(60)	2'-9-1/2"	INTERIOR	2 X 4 SPF WALL
<u>(61)</u>	6'-4-1/2"	INTERIOR	2 X 6 SPF #2 PLUMBING
(62)	7'-4"	INTERIOR	2 X 4 SPF #2 PLUMBING (WAS 2 X 6
63	3'-8"	INTERIOR	2 X 4 SPF WALL
64	10'-10"	INTERIOR	2 X 4 SPF WALL
65	11'-3-1/2"	INTERIOR	2 X 4 SPF WALL
66	4'-7"	INTERIOR	2 X 4 SPF WALL
67	4'-5-1/2"	INTERIOR	2 X 4 SPF WALL
68	4'-5-1/2"	INTERIOR	2 X 4 SPF WALL
69	11'-3-1/2"	INTERIOR	2 X 4 SPF WALL
70	10'-1"	INTERIOR	2 X 4 SPF WALL
71	2'-8-1/2"	INTERIOR	2 X 4 SPF WALL (WAS 2 X 6
72	5'-10"	INTERIOR	2 X 4 SPF WALL
(3A)	1'-5"	INTERIOR	2 X 4 SPF WALL
(74A*)	3'-4-1/2"	INTERIOR	2 X 4 SPF WALL
75	7'-6"	INTERIOR	2 X 4 SPF #2 PLUMBING (WAS 2 X 6
76	4'-1"	INTERIOR	2 X 4 SYP #2 WALL
77	2'-4-1/2"	INTERIOR	2 X 4 SYP #2 WALL
78			
79			
(80)			

PALMERA 1B MODEL LYL BEAM SCHEDULE								
BEAM #	LENGTH	BEAM TYPE						
А	12'-6-1/2"	(2) PLY 1 3/4" X 11 7/8" LVL BEAM						
В	12'-9"	(2) PLY 1 3/4" X 11 7/8" LVL BEAM						
С								
D								
	PALMERA 1B M	ODEL 2 X 12 SYP. BEAM SCHEDULE						
BEAM #	LENGTH	BEAM TYPE						
Е	9'-8"	(2) 2 X 12 SYP. W 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)						
F	5-4"	(2) 2 X 12 SYP. W 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)						
G	16'-8"	(2) 2 X 12 SYP. W 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)						
Н		(2) 2 X 12 SYP. W 1/2" PLYWOOD FLITCH PLATES (GLUED & NAILED)						

R.O. OPENINGS FOR DOORS AND WINDOWS

(2) 3068 EXTERIOR SLIDING GLASS DOORS 72 1/2" X 81 3/8"

3068 EXTERIOR DOOR 38" X 81 3/8"

3068 INTERIOR DOOR 38" × 81"

2068 BI-FOLD DOOR 25 1/2" × 80"

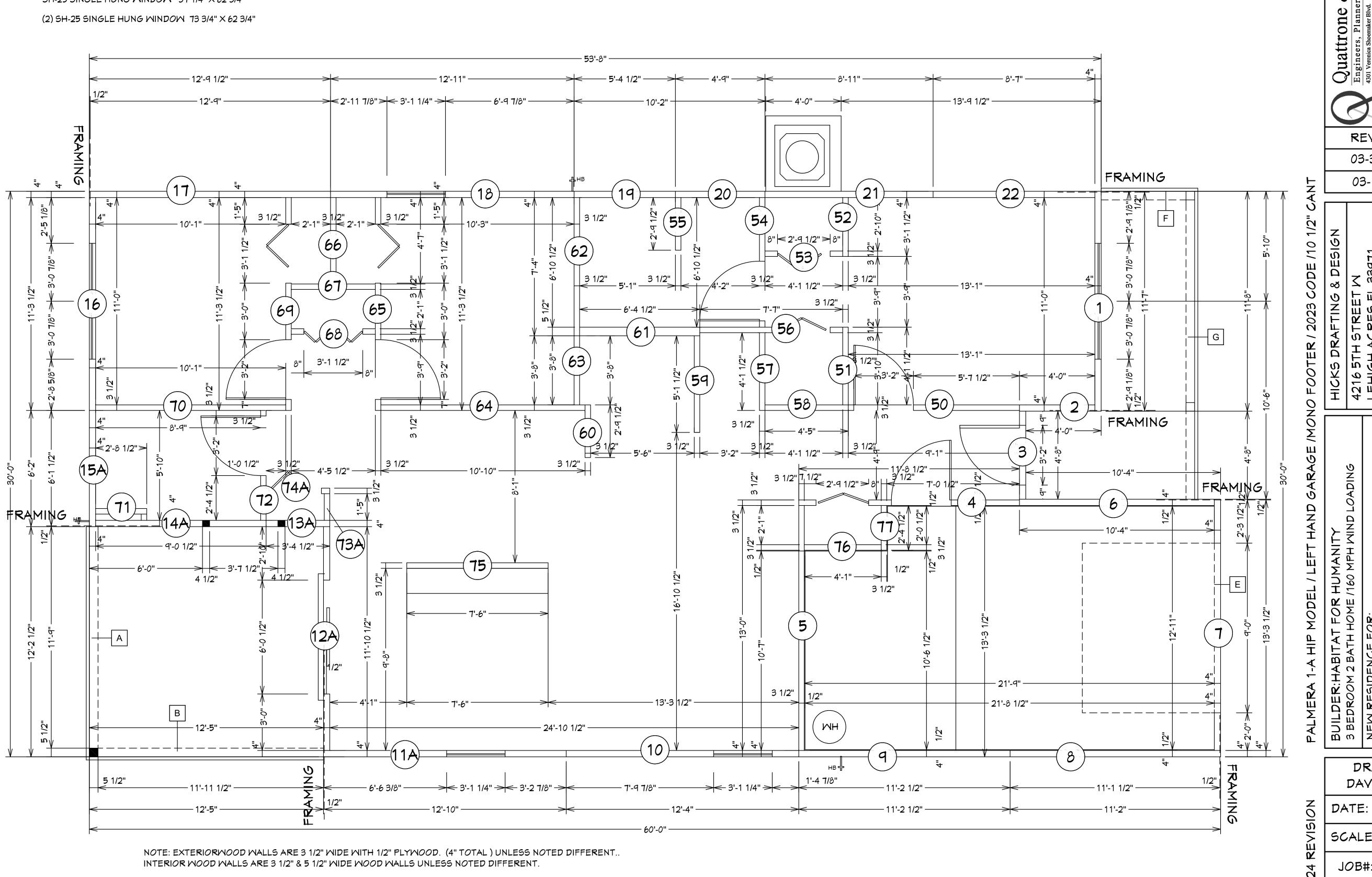
2868 BI-FOLD DOOR 33 1/2" × 80"

3068 BI-FOLD DOOR 37 1/2" × 80"

6068 BI-FOLD DOOR 73 1/2" × 80"

SH-25 SINGLE HUNG WINDOW 37 1/4" X 62 3/4"

(2) SH-25 SINGLE HUNG WINDOW 73 3/4" X 62 3/4"



INTERIOR & EXTERIOR WALL FRAMING PLAN SCALE: N.T.S.

DRAMN BY: DAVID HICKS DATE: 03-12-2021 SCALE: 1/4"=1'0" JOB#:2024-032 SHEET

OF

SH-1

& Development Consultants

REVISIONS:

03-30-2021

03-19-2024